

EXHIBIT "A" TYPE "E"
ADMINISTRATIVE SUBDIVISION AND RETRACTMENT SURVEY
PART OF THE SOUTHEAST QUARTER
OF THE SOUTHEAST QUARTER
SECTION 26, T9N, R2W
MONROE COUNTY, INDIANA

McCann Record
5.186 Acre Description
Job # 5629

Part of the Southwest Quarter of Section 26, Township 9 North, Range 2 West, Monroe County, Indiana, more particularly described as follows:

COMMENCING at the Northwest corner of said Southwest quarter being marked by a brass plug; thence SOUTH 00 degrees 00 minutes 00 seconds EAST along the West line of said Southwest Quarter 1284.00 feet to the Point of Beginning; thence SOUTH 89 degrees 08 minutes 16 seconds EAST, 736.00 feet; thence SOUTH 00 degrees 00 minutes 00 seconds EAST 306.92 feet; thence NORTH 89 degrees 08 minutes 39 seconds WEST 736.00 feet; thence NORTH 00 degrees 00 minutes 00 seconds EAST 307.00 feet to the Point of Beginning, containing 5.186 acres, more or less.

McCann Record
10.25 Acre Description
Job # 5629

Part of the Southwest Quarter of Section 26, Township 9 North, Range 2 West, Monroe County, Indiana, more particularly described as follows:

COMMENCING at the Northwest corner of said Southwest quarter being marked by a brass plug; thence SOUTH 00 degrees 00 minutes 00 seconds EAST along the West line of said Southwest Quarter 1234.00 feet to the Point of Beginning; thence SOUTH 89 degrees 08 minutes 16 seconds EAST, 736.00 feet; thence NORTH 00 degrees 00 minutes 00 seconds WEST 345.00 feet; thence SOUTH 89 degrees 08 minutes 16 seconds EAST 583.98 feet; thence SOUTH 00 degrees 00 minutes 05 seconds WEST 701.86 feet; thence NORTH 89 degrees 08 minutes 39 seconds WEST 583.96 feet; thence NORTH 00 degrees 00 minutes 00 seconds WEST 306.92 feet; thence NORTH 89 degrees 08 minutes 16 seconds WEST 736.0 feet; thence NORTH 00 degrees 00 minutes 00 seconds EAST 50.00 feet to the point of beginning, containing 10.25 acres, more or less.

McCann Type "E"
Tract 1 Description
Job # 5629

A part of the Southwest Quarter of Section 26, Township 9 North, Range 2 West Monroe County, Indiana being more particularly described as follows:

Commencing at a brass plug marking the Northwest corner of the Southwest quarter of Section 26, Township 9 North, Range 2 West, Monroe County, Indiana; thence SOUTH 00 degrees 00 minutes 00 seconds WEST, (Basis of Bearings per McCann Deed Book 362, Page 387, office of the Monroe County, Indiana Recorder), SOUTH along the West line of the Southwest Quarter of said Section 26, 1234.00 feet to a MAG Nail at the Point of Beginning; thence SOUTH 89 degrees 08 minutes 16 seconds EAST, 736.00 feet to a 5/8" diameter rebar with yellow plastic cap stamped, "BRG 50920004", (BRG Rebar); thence NORTH 00 degrees 00 minutes 00 seconds EAST, 345.00 feet to a 5/8" rebar stamped, Smith Quillman and Associates, (SQA Rebar); thence SOUTH 89 degrees 08 minutes 16 seconds EAST, 583.98 feet to a BRG Rebar; thence SOUTH 00 degrees 00 minutes 05 seconds WEST, 120.00 feet to a BRG Rebar; thence NORTH 89 degrees 08 minutes 16 seconds WEST, 140.00 feet to a BRG Rebar; thence SOUTH 00 degrees 00 minutes 05 seconds WEST, 275.00 feet to a BRG Rebar; thence NORTH 89 degrees 08 minutes 16 seconds WEST, 1179.97 feet to a MAG Nail in Hartstraight Road on the West line of the Southwest Quarter of said Section 26; thence NORTH 00 degrees 00 minutes 00 seconds EAST along said West line, 50.00 feet to the Point of Beginning containing 5.26 acres, more or less.

McCann Type "E"
Tract 2 Description
Job # 5629

A part of the Southwest Quarter of Section 26, Township 9 North, Range 2 West Monroe County, Indiana being more particularly described as follows:

Commencing at a brass plug marking the Northwest corner of the Southwest quarter of Section 26, Township 9 North, Range 2 West, Monroe County, Indiana; thence SOUTH 00 degrees 00 minutes 00 seconds WEST along the West line of said Southwest Quarter Section, (Basis of Bearings per McCann Deed Book 362, Page 387, office of the Monroe County, Indiana Recorder), 1284.00 feet to a MAG Nail marking the Point of Beginning; thence continuing SOUTH 00 degrees 00 minutes 00 seconds WEST along said West line and in Hartstraight Road, 307.00 feet to a MAG Nail; thence SOUTH 89 degrees 08 minutes 39 seconds EAST, 1319.69 feet to a 5/8" rebar with yellow plastic cap stamped, "Smith Quillman and Associates", (SQA Rebar); thence NORTH 00 degrees 00 minutes 05 seconds EAST, 581.86 feet to a 5/8" rebar with yellow plastic cap stamped, "BRG PC50920004", (BRG Rebar); thence NORTH 89 degrees 08 minutes 16 seconds WEST, 140.00 feet to a BRG Rebar; thence SOUTH 00 degrees 00 minutes 05 seconds WEST, 275.00 feet to a BRG Rebar; thence NORTH 89 degrees 08 minutes 16 seconds WEST, 1179.97 feet to the Point of Beginning containing 10.18 acres, more or less.

REPORT OF SURVEY
Job #5629

In accordance with Title 865, 1-12-1 through 1-12-29 of the Indiana Administrative Code, the following observations and opinions are submitted regarding the various uncertainties in the locations of the lines and corners established on this survey as a result of:

- a) Variances in the reference monuments;
- b) Discrepancies in record descriptions and plats;
- c) Inconsistencies in lines of occupation and;
- d) Random Errors in Measurement (Theoretical Uncertainty);

The Theoretical Uncertainty (due to random errors in measurement) of the corners of the subject tract established this survey is within the specifications for a Class D Survey (1.0 feet) as defined in IAC 865.

This survey was performed at the request of Gayle and Mike McCann. The subject parcel is in the name of the McCann's and found in Instrument Number 2001006114 and Deed Book 362 Page 387 Office of the Monroe County, Indiana Recorder. It is a retracement survey on each parcel in a part of the southwest quarter of Section 26 Township 9 North Range 2 West Monroe County, IN. Additional information on the section breakdown found on a survey by Jess Gwinn for Northwest Park Job #2327 dated May 3, 1996. Further survey by Ben Bledsoe Job#5111 for the Indiana Railroad was used as well as a corroborating survey dated June 29, 1994 by Lee Utt and by Bledsoe Riggert Guerrettaz, Inc. Job #5626.

The purpose of this survey is to delineate the parcels noted above in order to rearrange the interior parcel line via the Type "E" Administrative Subdivision process at the direction of the client as we have done. Fences and the buildings interior and along the perimeter have been located as directed by Mrs. McCann.

MONUMENTS FOUND: All part of Section 26, T9N, R2W

1. Brass Disc per MCS ties marking the NW corner, SW 1/4 Sec 26.
2. Railroad Spike with brass shiner SW cor Sec 26.
3. Stone Fd. 0.3' A.G. at four fence intersection SE cor W1/2 SW 1/4 Sec 26 per SQA survey.
4. SQA cap fd 0.2' A.G. 0.9 feet N. and 28.7 feet W. of southeast corner set.
5. SQA cap fd 0.2' A.G. 16.4 feet N. and 25.1 feet W. of NE corner set.
6. 5/8" rebar with yellow marred cap 0.2' A.G. 14.0 feet N. And 10.4 feet E. Of NW corner set.
7. 5/8" rebar with BRG Caps 0.3 feet above ground marking NW and NE corners Martin/Stone.
8. 5/8" rebar with Smith Quillman Cap at northwest most corner of McCann parcel.

ESTABLISHMENT OF LINES AND CORNERS:

The lead-in calls for the north and west adjoiners as well as the subject are based on the west line of the southwest quarter of section 26 T9N R2W. Monuments #1 and #2 above indicate this line. Record descriptions from this line were held for the subject and the adjoiners discussed. The McCann parcels close mathematically, but creates a gap of 14 feet to over 16 feet with the Stone/Martin parcel as shown. Rebar #5 is within 0.3 feet of the SW cor McCann as computed. Rebar #6 is within 0.6 feet of the computed south line of McCann. We held the record description for our subject parcel.

The NE corner W1/2 SW 1/4 was set this survey with a BRG rebar/cap. It was established per record information on Gwinn survey and the record distance along the north line of the SW 1/4 per measurements by BTR in summer, 2005 for the Indiana Railroad. An iron pipe was held with BTR and with the UTT survey as well. Railroad improvements obliterated the monument and therefore it is recreated based on the record information. The basis to tie in the Gwinn survey to this work was based on plug #1 and stone #3 above. Distance between these monuments checked with Gwinn within 1 foot.

As a result of the above observations, it is my opinion that the uncertainties in the location of the lines and corners established on this survey are as follows:

Due to variances in reference monuments; As noted. Up to 28 feet east/west and 16 feet north south with the Stone/Martin parcel. Gwinn survey and our field measurements to the same physical points are within 1 foot.

Due to discrepancies in the record description; The subject deed closes. It does not call the east line of the west half of the southwest quarter as its east line and therefore that specific line is not held. Grubb to the east calls that line out. The description was not changed to reflect that, however it is called out on the drawing. A maximum 16.5 foot deed gap discussed with Martin/Stone to the south. Inconsistencies due to stone discussed could prove to make that issue without merit.

Due to inconsistencies on lines of occupation; Fences as noted on survey and found monuments for previous surveys noted. McCann installed the board fence near the south line. The fence along the east line does not match the deeds or the section line. Discrepancies as noted. Claim to the section line to the east is not addressed here. No calls to that line evident in subject deeds.

"I AFFIRM, UNDER THE PENALTIES FOR PERJURY, THAT I HAVE TAKEN REASONABLE CARE TO REDACT EACH SOCIAL SECURITY NUMBER IN THIS DOCUMENT, UNLESS REQUIRED BY LAW."

This survey was executed according to survey requirements contained in Sections 1 through 19 of 865 IAC 1-12.

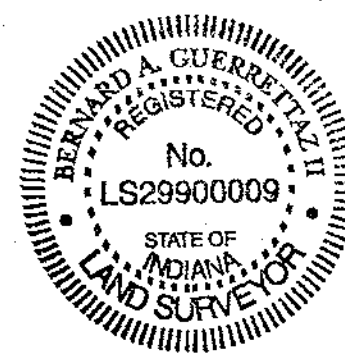
This certification does not take into consideration additional facts that an accurate and correct title search and/or examination might disclose.

Evidence of easements have not been located in the field and are not shown on this survey drawing.

Subject to the above reservation, I hereby certify that the survey work performed on the project shown hereon was performed either by me or under my direct supervision and control and that all information shown is true and correct to the best of my knowledge and belief.

Certified this 20th day of August, 2006

Bernard A. Guerrettaz II
Registered Land Surveyor No. LS29900009
State of Indiana



July 18
0.600

Stephan
17.80

36 21

Abram
10a

22
Abram
40

15	29	12	27	27	34	43	59
37	20	19	24	25	26	42	28
30	27	9	23	27	35	41	28
30	27	56	28	28	28	38	28
14	50	74	21	28	25	38	28
3	50	6	59	28	31	37	28
3	50	8	58	21	27	31	28
28	51	4	18	17	16	35	28
26	14	3	13	14	15	43	28
32	14	25	45			42	28
32	14	25	45			42	28

18.00

Sears
80a

Joseph, Robert R.
77.50a

5
Richardson
9a

100a

12
Hart
10a
Hart
10a

5.6a

Section 26
T4N R10W

Scale
1 inch = 300 ft.

Sears
66a

Shively
68a

19a

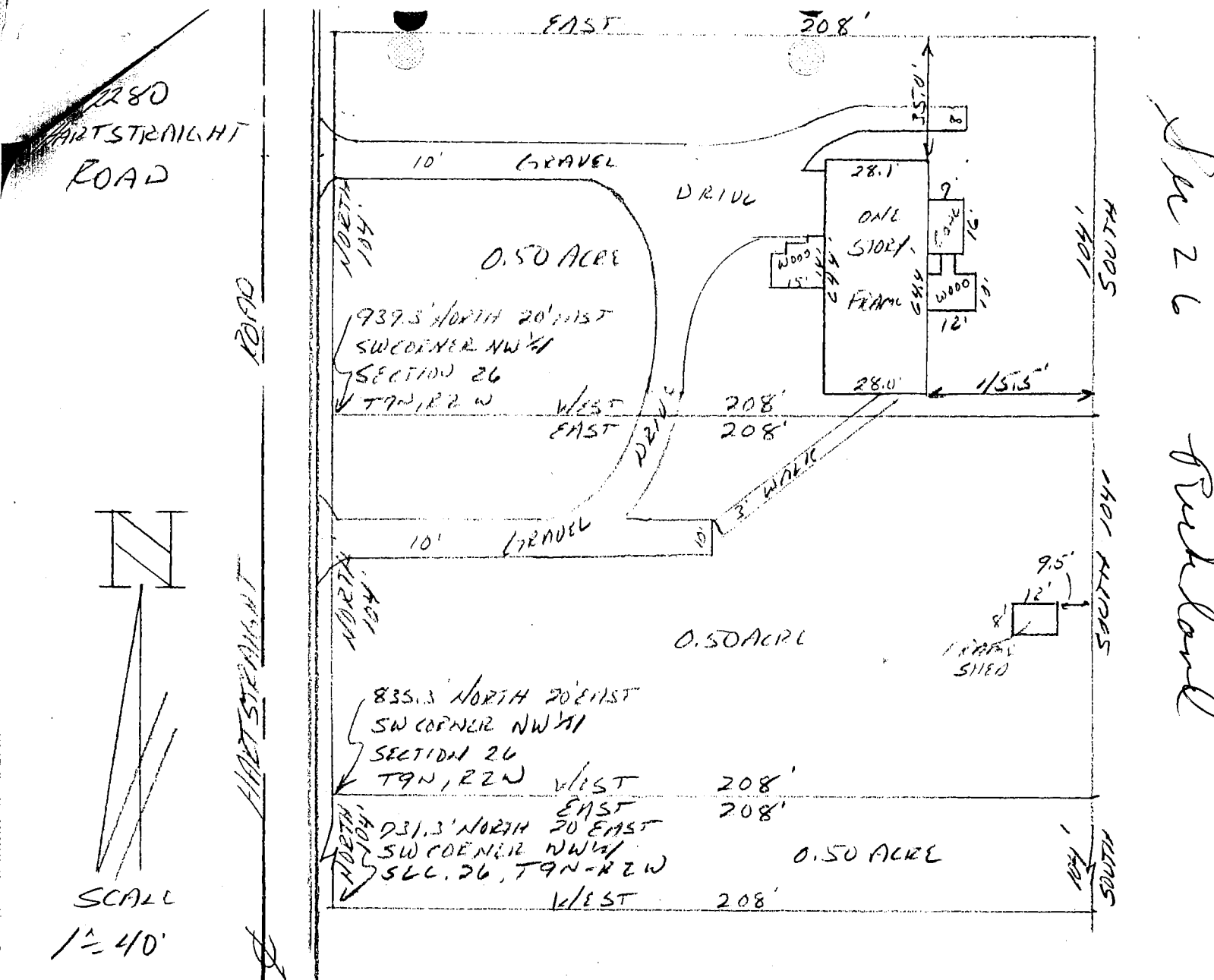
Robert Stephenson
20.73a

Steger
117.27a

24
Duncan
4a

White
10a

8 1/2 inch 12a



DESCRIPTION:

A part of the West half of the Northwest quarter of Section 26, Township 9 North, Range 2 West, in Monroe County, Indiana, bound and described as follows, to wit; beginning at a point that is 939.3 feet North and 20 feet East of the Southwest corner of the said Northwest quarter; thence running North 104 feet; thence running East 208 feet; thence running South 104 feet; thence running West 208 feet and to the place of beginning, containing 0.50 acre, more or less.

ALSO, a part of the West half of the Northwest quarter of Section 26, Township 9 North, Range 2 West, in Monroe County, Indiana, bound and described as follows, to wit; Beginning at a point that is 835.3 feet North and 20 feet East of the Southwest corner of the said Northwest quarter; thence running North 104 feet; thence running East 208 feet; thence running South 104 feet; thence running West 208 feet and to the place of beginning, containing 0.50 acre, more or less.

ALSO, a part of the West half of the Northwest quarter of Section 26, Township 9 North, Range 2 West, in Monroe County, Indiana, bound and described as follows, to wit; Beginning at a point that is 731.3 feet North and 20 feet East of the Southwest corner of the said Northwest quarter; thence running North 104 feet; thence running East 208 feet; thence running South 104 feet; thence running West 208 feet and to the place of beginning, containing 0.50 acres, more or less.

CERTIFICATION:

I hereby certify that this plat as shown is a true and complete survey of the described property, and further certify that all improvements are wholly within the boundaries of said described property, and that the said improvements do not encroach upon any other property, nor are there any encroachments from any other property on said surveyed property.



Raymond Graham

Raymond Graham
R.P.E. 8409 L.S. 9978 Indiana
3215 N. Smith Pike
Bloomington, Indiana
March 18, 1992

See 26
Richland

Warranty Deed

2280 N Hartshorn
47404

This Indenture Witnesseth, That DAVID G. CRITES, an adult

of Monroe County, in the State of Indiana
Convey and Warrant to THOMAS E. RIGGS and KAREN E. RIGGS, husband and wife

of Monroe County, in the State of Indiana, for and in consideration
of One Dollar (\$1.00) and other valuable consideration not herein expressed,
the receipt whereof is hereby acknowledged, the following described Real Estate in Monroe

County in the State of Indiana, to-wit:

A part of the West half of the Northwest quarter of Section 26, Township 9 North, Range 2 West, in Monroe County, Indiana, bound and described as follows, to-wit: Beginning at a point that is 939.3 feet North and 20 feet East of the Southwest corner of the said Northwest quarter; thence running North 104 feet; thence running East 208 feet; thence running South 104 feet; thence running West 208 feet and to the place of beginning, containing 0.50 acre, more or less.

ALSO, a part of the West half of the Northwest quarter of Section 26, Township 9 North, Range 2 West, in Monroe County, Indiana, bound and described as follows, to-wit: Beginning at a point that is 835.3 feet North and 20 feet East of the Southwest corner of the said Northwest quarter; thence running North 104 feet; thence running East 208 feet; thence running South 104 feet; thence running West 208 feet and to the place of beginning, containing 0.50 acre, more or less.

ALSO, a part of the West half of the Northwest quarter of Section 26, Township 9 North, Range 2 West, in Monroe County, Indiana, bound and described as follows, to-wit: Beginning at a point that is 731.3 feet North and 20 feet East of the Southwest corner of the said Northwest quarter; thence running North 104 feet; thence running East 208 feet; thence running South 104 feet; thence running West 208 feet and to the place of beginning, containing 0.50 acre, more or less. Containing in all of the land conveyed 1.50 acres, more or less.

Subject to second installment of taxes for the year 1991, due and payable in November, 1992, and all subsequent taxes.

Subject to the Right-of-way of the road running across the West side of subject real estate.

Subject to the Covenants and Restrictions as set out in Warranty Deed recorded November 7, 1956 in Deed Record 122, pages 150-154, in the Office of the Recorder of Monroe County, Indiana, as follows:

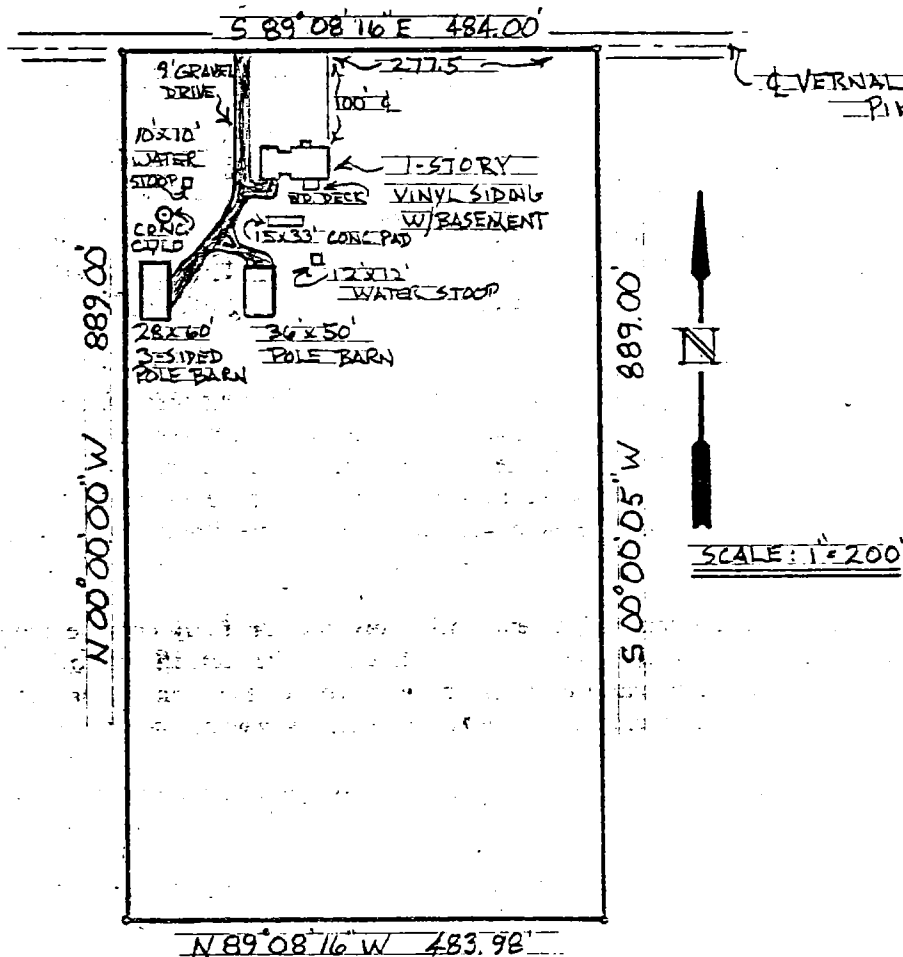
- "1. The above described real estate shall be for residence use only and no part thereof shall be for commercial or business use.
2. No more than one residence building shall be constructed on each of the above described lots except Lot Number 7, upon which 2 residence buildings may be constructed. Duplex and multiple unit residence buildings are not permitted.
3. No residence building shall be constructed on said lots having less than 1100 square feet floor space, exclusive of breezeways, garages, and basements, provided, however, that basements may be used for residence purposes for a period of six (6) months immediately following construction of same, but no longer.
4. No house trailers, or other movable structure shall be placed upon or used for residence purposes on any of said lots.
5. No building of any kind shall be within less than 60 feet of the West line of said lots as above described.
6. No outside toilets shall be constructed on any of said lots. Septic pits and tanks and all other waste disposal systems shall be efficiently designed and constructed and maintained in a manner such as not to be offensive to other lot occupants. Garbage and other waste material shall be kept in closed containers and in such a manner as not to be offensive to other lot owners.
7. No swine may be kept on any of said lots."

--CONTINUED--

SURVEYOR LOCATION REPORT

THIS REPORT IS BASED ON LIMITED ACCURACY DATA AND THEREFORE NO DATA HEREIN SHOULD BE USED FOR CONSTRUCTION OR ESTABLISHING BOUNDARY OR FENCE LINES.

PROPERTY ADDRESS: 5805 West Vernal Pike, Bloomington, Indiana
PROPERTY DESCRIPTION: See Page Two of two pages



DESIGNATED PARTIES

MORTGAGEE BLOOMINGTON MORTGAGE CORPORATION REFERENCE NO.
OR ASSIGNEES:
TITLE CO.: TICOR REFERENCE NO.
OTHER: HARRELL, CLENDENNING & COYNE

I, the undersigned, an Indiana Registered Land Surveyor, hereby certify that on the date shown, I supervised the inspection of the real estate described herein at the Address indicated. THIS LOCATION REPORT WAS PREPARED FOR USE BY THE DESIGNATED PARTIES ONLY AND FOR NO ONE ELSE. THE ACCURACY OF THE LOCATION DATA SHOWN IS LIMITED TO THAT REQUIRED BY THE INDIANA "SURVEYOR LOCATION REPORT" MINIMUM REQUIREMENTS UNLESS OTHERWISE SPECIFIED AND EXPLAINED ON THIS DOCUMENT. IF A MORE ACCURATE OR DETAILED LAND SURVEY IS DESIRED OR IF CORNER MONUMENTS ARE REQUIRED, AN INDIANA LAND TITLE SURVEY SHOULD BE ORDERED.

I further certify that to the best of my knowledge this Location Report conforms with the SURVEYOR LOCATION REPORT Minimum Requirements, as adopted by the Indiana Society of Professional Land Surveyors, Inc., on January 29, 1981, and approved by the Title Underwriters of Indiana, Inc., on March 20, 1981.

CERTIFICATION DATE 12-12-88

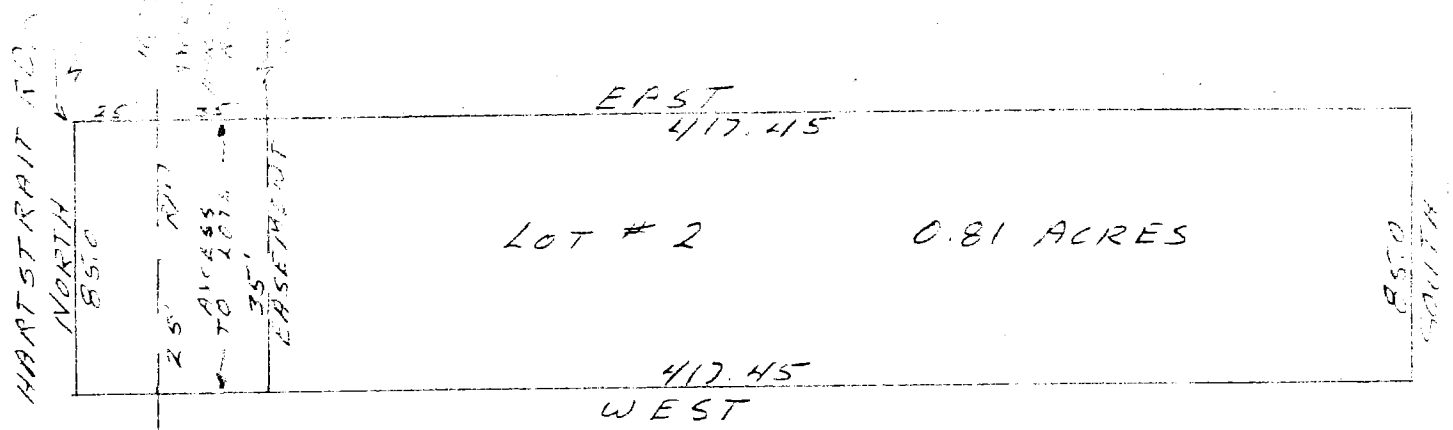
SURVEYORS SIGNATURE Ben E. Blensow

SURVEYORS JOB NO. M884-305



Sec 26

DALE L. WICKER



POINT OF BEGINNING
115' N. SW CORNER
SW 1/4, SECT 26, T9N, R2W



SCALE 1"=60'

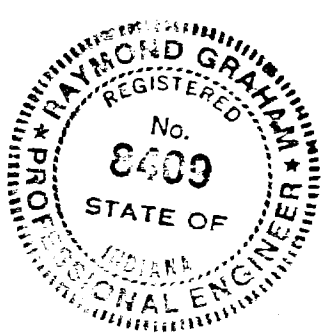
Sec 26

DESCRIPTION:

A part of the Southwest quarter of Section 26, Township 9 North, Range 2 West in Monroe County, Indiana, bounded and described as follows: Beginning at a point that is 415.00 feet North of the Southwest corner of said quarter in said Section 26, thence running North for 85.00 feet, thence East for 417.45 feet, thence South for 85.00 feet, thence West for 417.45 feet and to the point of beginning. Containing in all 0.81 acres more or less. Subject to a 25.00 foot easement from Hartstrait Road for County Highway right-of-way. Also subject to an additional 35.00 foot easement for Access to lots North and South.

INGRESS EGRESS DESCRIPTION:

Beginning at a point that is 25.00 feet East of the Northwest corner of said described lot, thence running North for 162.45 feet, thence East for 35.00 feet, thence South for 162.45 feet, thence West for 35.00 feet and to the point of beginning. Said description for Access to Hartstrait Road.



Raymond Graham

Raymond Graham
R.P.E. 8409 Indiana
3215 N. Smith Pike
Bloomington, Indiana
March 22, 1979

on NW Corner of
SW 1/4, R2W

S 89° 08' 16" E

1336.53'

I.P.F. on N.E. Corner of W 1/2,
of S.W. 1/4, Section 26, T9N R2

± 5 Acres
± 5 Acres
± 12 Acres
± 5 Acres
± 6 Acres
± 5 Acres
± 18 Acres

1

2

3

4

5

6

7

8

EXCEPTION
D.B. 298 Pg. 339

Note: Fence Line Meander
True Property Line

HENDERSHOT
D.B. 298 Pg. 339

GRUBB
D.B. 269 Pg. 596

WHITE
D.B. 333 Pg. 255

Stone Found on SE Corner of
SW 1/4, Section 26, T9N, R2

REVISIONS	BY	DATE

OWENS PROPERTY
HARTSTRAIT ROAD

Harrell Harold A.

Brass Disk Found on NW Corner
SW 1/4, Section 26, T9N, R2W

67.57 A

Rich
Sec 26

1903.24'

N 00° 00' 00" W

SWISS PROPERTY
HENDERSON ROAD
JOB NO. 1121

Part of the Southwest Quarter of Section 26, Township 9 North, Range 2 West,
Henderson County, Indiana, more particularly described as follows:

Beginning at the Northwest corner of said southwest quarter being marked by a
stone and found this survey thence SOUTH 89 degrees 08 minutes 16 seconds EAST
(all bearings given in this description are on assumed datum) along the north line of
said southwest quarter 136.51 feet to the northeast corner of the west half of said
southwest quarter said point being marked by an iron pipe found this survey; thence
SOUTH 89 degrees 17 minutes 40 seconds EAST along the east line of said west half
212.61 feet to a 3/8" rebar with yellow cap set this survey; thence NORTH 88
degrees 58 minutes 46 seconds WEST 911.09 feet to a 5/8" rebar with yellow cap set
this survey; thence NORTH 00 degrees 00 minutes 00 seconds WEST 417.45 feet to a
3/8" rebar with yellow cap set this survey; thence NORTH 88 degrees 58 minutes 46
seconds WEST 417.45 feet to a railroad spike set this survey on the west line of said
southwest quarter said point being NORTH 00 degrees 00 minutes 00 seconds WEST
1903.24 feet from the southwest corner of said southwest quarter and being marked by
a railroad spike found this survey; thence NORTH 00 degrees 00 minutes 00 seconds
WEST along the west line of said southwest quarter 1903.24 feet to the point of
beginning containing 57.27 acres, more or less.

This description does not take into consideration additional facts that an accurate
and correct title search and/or examination might disclose.
Locations of monuments have not been located in the field and are not shown on this
survey drawing.

In witness whereof, I hereby certify that the survey work performed on
the project shown herein was performed either by me or under my direct supervision
and I declare that all information shown is true and correct to the best of my
knowledge and belief.

Dated this 27th day of July, 1988.

Bert B. Bledsoe
Bert B. Bledsoe
Professional Land Surveyor No. 80559
State of Indiana

R.R. Spike Set this
Survey

N 88° 58' 46" W

N 00° 00' 00" W

747.45'

LEE UTT

REGISTERED LAND SURVEYOR NO. 80089, INDIANA
OFFICE PHONE 332-6366 HOME PHONE 525-5961
1604 SOUTH HENDERSON
BLOOMINGTON, INDIANA 47401

March 13, 1979

Legal description of 30 acres

Dorothy Shively Estate

A part of the East one half of the Southwest quarter of Section 26,
Township 9 North, Range 2 West, Monroe County, Indiana, bounded and
described as follows:

Beginning at the Northwest corner of said East one half of the
Southwest quarter; thence from said point of beginning and with
the North line of said Southwest quarter and running South 88°-56'-
43" East for 660.84 feet; thence leaving said North line and running
South 00°-11'-30" East for 1977.95 feet; thence North 88°-56'-43"
West for 660.84 feet and to the West line of said East one half;
thence with said West line and running North 00°-11'-30" West for
1977.95 feet and to the point of beginning. Containing 30.00 acres,
more or less.

Lee Utt, R. L. S. # S0089, Indiana

Sec 26

LEE UTT

REGISTERED LAND SURVEYOR NO. 80089, INDIANA
OFFICE PHONE 332-8366 HOME PHONE 825-8961
1604 SOUTH HENDERSON
BLOOMINGTON, INDIANA 47401

December 19, 1978

Legal description

Dorothy Shively Estate

A part of the East one half of the Southwest quarter of Section 26, Township 9 North, Range 2 West, Monroe County, Indiana, bounded and described as follows:

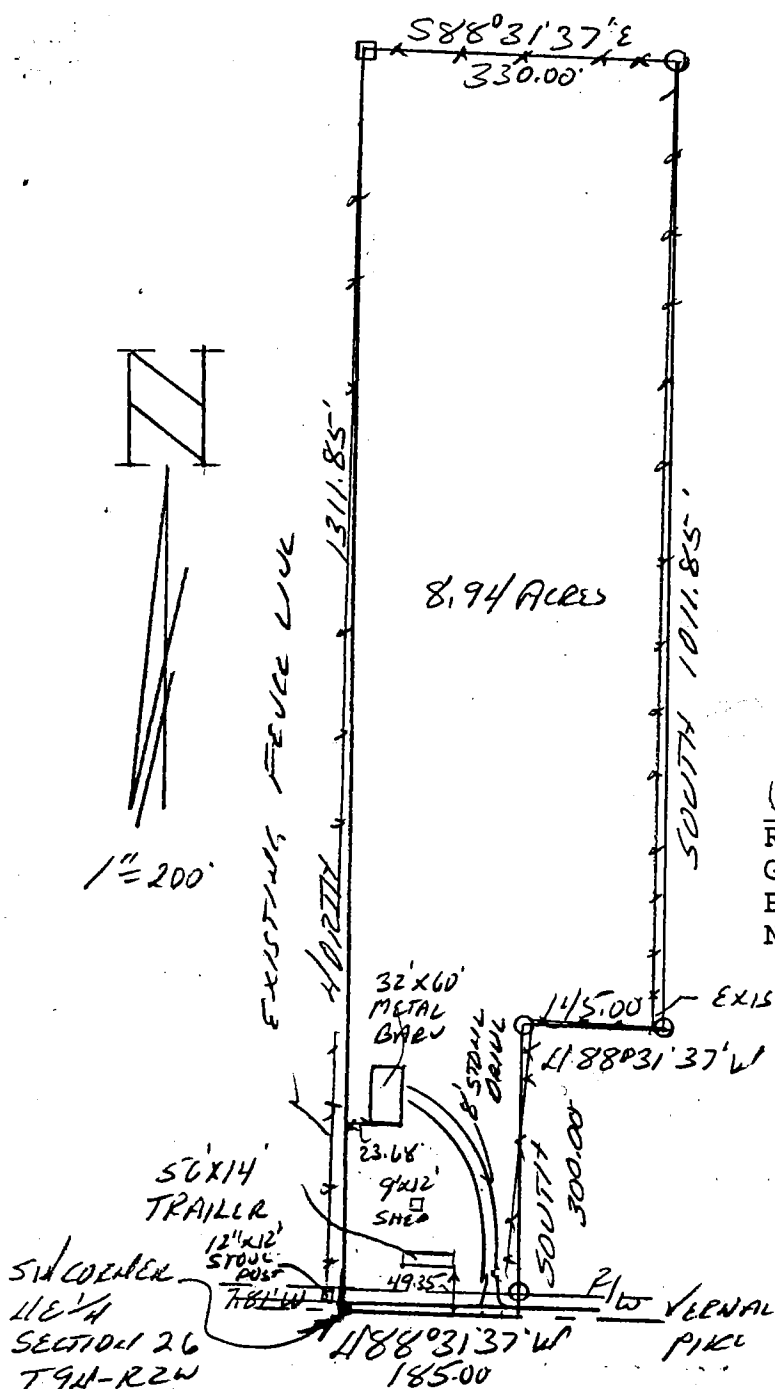
Beginning at the Southwest corner of said East one half of the Southwest quarter; thence from said point of beginning and with the West line of said East one half and running North $00^{\circ}-11'-30''$ West for 2649.42 feet and to the Northwest corner of said East one half; thence with the North line of said Southwest quarter and running South $88^{\circ}-56'-43''$ East for 1121.84 feet; thence leaving said North line and running South $00^{\circ}-05'-43''$ East for 2649.33 feet and to the South line of said Southwest quarter; thence with said South line and running North $88^{\circ}-56'-43''$ West for 1117.38 feet and to the point of beginning. Containing 68.08 acres, more or less.

Lee Utt, R.L.S. #S0089, Indiana

FILED

AUG 3 1979

John W. Davis
Auditor Monroe County, Indiana



PART 5 1/2 - 11E 1/4
SECTION 26 - T9N - R2W
5260 W VERNAL PIKE

O=5/8" REBAR SET W CAP
CAP=GRAHAM P.C. 9800014

Raymond Graham

Raymond Graham R.L.S. 9978 Indiana
Graham Engineering 615 W. Kirkwood
Bloomington, Indiana 47404
November 17, 2000 Job No. 00-742

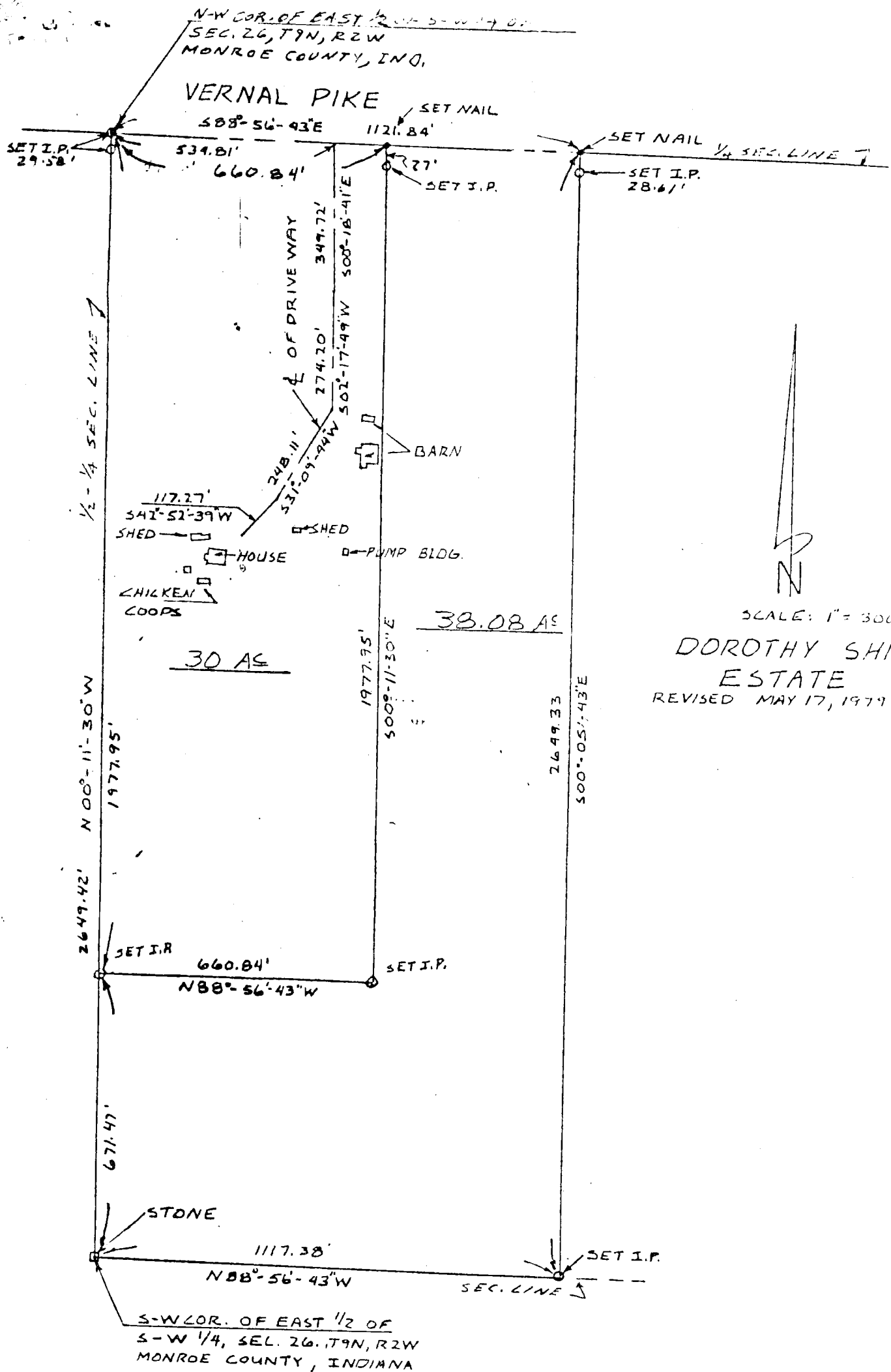


DESCRIPTION:

Ten (10) acres of even width off of the West end of the South half of the Northeast quarter of Section Twenty-six (26), Township Nine (9) North, Range Two (2) West, Monroe County, Indiana. EXCEPTING THEREFROM: A part of the South half of the Northeast quarter of Section 26, Township 9 North, Range 2 West, bound and described as follows, to-wit: Beginning at a point 330.00 feet East of the Southwest corner of said Quarter Section which point is the Southeast corner of a 10 acre tract described in Warranty Deed where Reginald B. Stull and Ardys C. Stull, his wife, were grantors and Charles Richardson and Ices Richardson his wife, were grantees, dated the 2nd day of July, 1929, recorded December 20, 1930, at Deed Record 84 at page 108, in the office of the Recorder of Monroe County, Indiana; thence North 300 feet; thence West 145 feet; thence South 300 feet; thence East 145 feet and to the place of beginning. Containing 1 acre, more or less.

Above description being more particularly described as per survey by Graham Engineering PC 9800014 on November 17, 2000 as follows:

A part of the South half of the Northeast quarter of Section 26, Township 9 North, Range 2 West, Monroe County, Indiana, described as follows: Beginning at the Southwest corner of the said Northeast quarter, said point being a railroad spike in Vernal Pike, thence running with the West line of said quarter North 00 degrees East (assumed bearing) for 1311.85 feet and to an existing stone, thence leaving said line and running parallel with the South line of said quarter South 88 degrees 31 minutes 37 seconds East for 300.00 feet, thence running parallel with the West line of said quarter South for 1011.85 feet and to the Northeast corner of a 1.00 acre tract, thence running on the North line of said tract North 88 degrees 31 minutes 37 seconds West for 145.00 feet and to the Northwest corner of said 1 acre tract, thence running with the West line of said tract South for 300.00 feet and to the South line of said quarter, thence running with said quarter line North 88 degrees 31 minutes 37 seconds West for 185.00 feet and to the point of beginning. Containing in all 8.94 acres, more or less. Subject to a 25.00 foot easement from the centerline of said



State of Indiana SS:
County of Monroe

I, Lee Utt, hereby certify that I am a Land Surveyor licensed in compliance with the laws of the State of Indiana; that the above plat and attached description correctly represents a survey completed by me on December 19, 1978; that all monuments shown thereon actually exist; and that their location and type are, to the best of my knowledge accurately shown.

Lee Utt, R.L.S. #S0089, Indiana

EXHIBIT "A" TYPE "E"

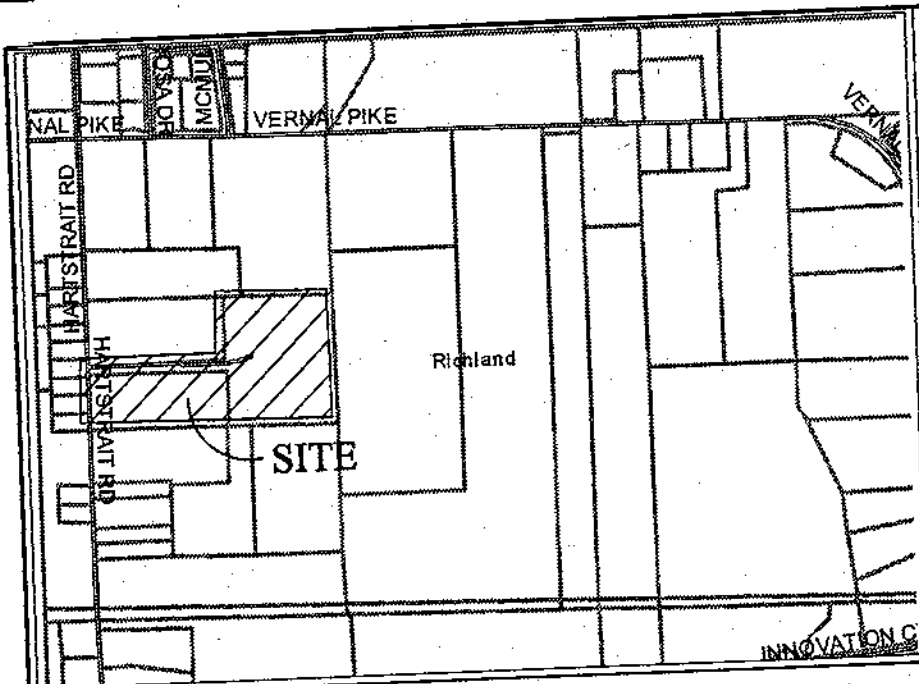
ADMINISTRATIVE SUBDIVISION AND RETRACEMENT

AND ORIGINAL SURVEYS

PART OF THE SOUTHWEST QUARTER

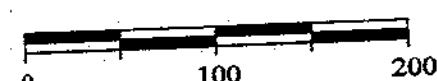
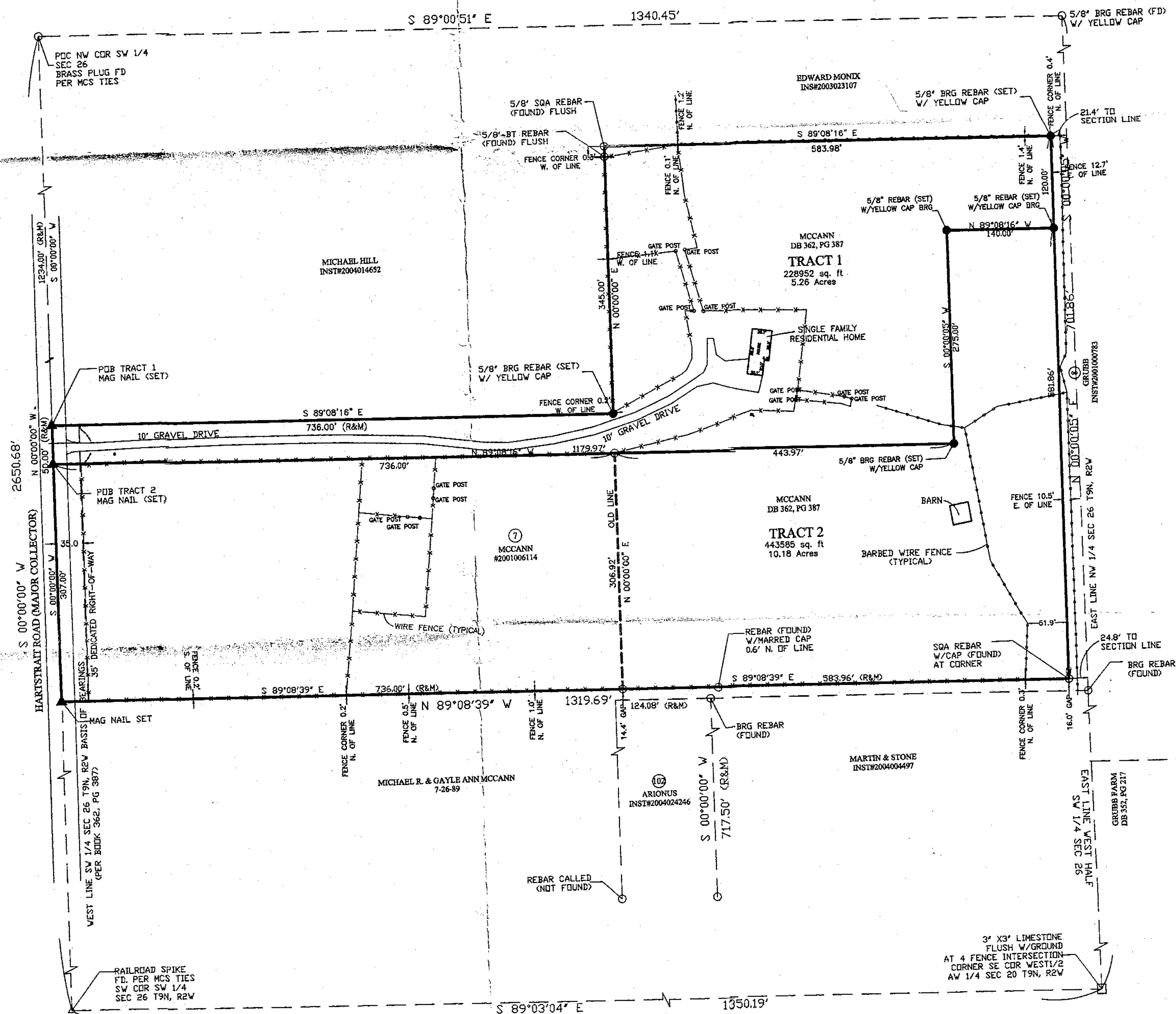
SECTION 26, T9N, R2W

MONROE COUNTY, INDIANA



LOCATION MAP

DENNIS LAWYER
INST#2002011697



SCALE: 1"=100'

NOTES:

1. ZONE OF PROPERTY IS AG/RR
2. FIELD WORK BEGAN MAY, 2006
3. CORNERS OF TRACT 1 AND TRACT 2 SET JULY, 2006
4. THERE APPEARS TO BE NO 100 YEAR FLOOD PLAINS ON THESE PARCELS.
5. THE PURPOSED OF THIS DRAWING IS TO ILLUSTRATE THE BOUNDARIES OF THE MCCANN PARCELS AND TO ILLUSTRATE THE PARCELS AS THEY HAVE BEEN RECONFIGURED THROUGH THE TYPE "E" ADMINISTRATIVE SUBDIVISION. NO ADDITIONAL TAX PARCELS ARE CREATED.

SURVEY PARTY CHIEF: B.J./K.S.
DRAWN BY: D.L.S.
CHECKED BY: B.G.

Blades Riggert Guerrettaz
LAND SURVEYING • CIVIL ENGINEERING
1351 W. Tapp Road Bloomington, IN 47403
p 812-336-8277 f 812-336-0817

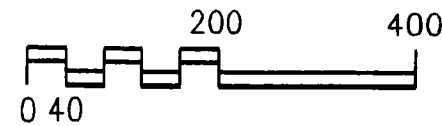
JOB #5629

SHEET 1 OF 2

REVIEWED

By Emily Smitheram at 9:46 am, Dec 28, 2017

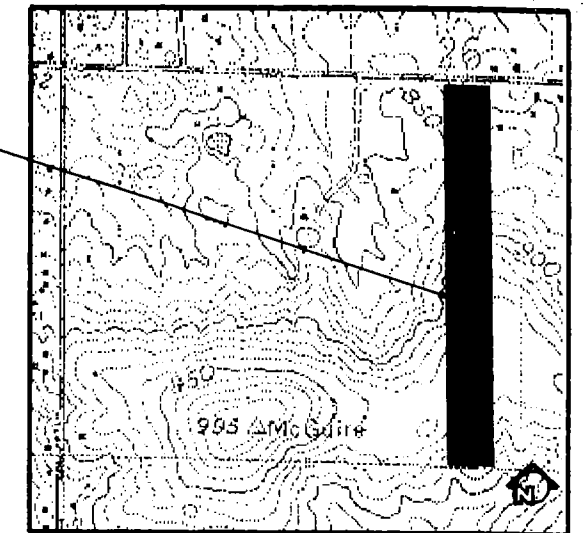
PROJECT LOCATION



SCALE: 1"=200'

MONUMENT LEGEND

STONE MONUMENT	□	RAILROAD SPIKE	⊕
STONE WITH X	⊗	P.K. NAIL	●
CONCRETE MONUMENT	△	BENCHMARK	⊙
1/4" REBAR W/PLASTIC CAP SET	○	TEMPORARY BENCHMARK	△
IRON ROD	⊗	HUB AND TACK	⊠
IRON PIPE	○	GPS MONUMENT	⊕
NOW OR FORMERLY	N/F	ADDRESS NUMBER	1612



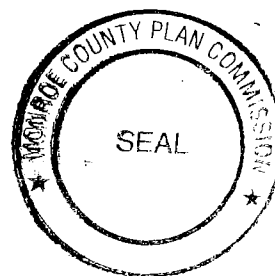
N/F NORTHWEST PARK CORP.
DR. 435 PG. 515-516

1609 N. KINSER PK.
BLOOMINGTON IN. 47404
ZONED LI

N89°19'19"W 312.12'

AS SHOWN 3/21/01 JMS

1/4" Rebar found



N/F NORTHWEST PARK CORP.
DR. 435 PG. 515-516

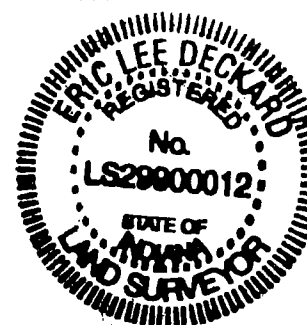
1609 N. KINSER PK.
BLOOMINGTON IN. 47404
ZONED LI

I hereby certify that the survey work performed on the project shown hereon was performed either by me or under my direct supervision and control and that all information shown is true and correct to the best of my knowledge and belief.

Certified this 24TH day of May

Eric L. Deckard
JUL 16 2001
Registered Land Surveyor No. LS29900012
State of Indiana
Auditor Monroe County, Indiana

2001.



NOTES:

- 1) Current Zoning of Subdivided Area is (AG/RR).
- 2) All lot corners to be marked with 1/4" x 2' capped rebar, PK nail or chiselled "X".
- 3) Reference is made to "NORTHWEST PARK BOUNDARY SURVEY JOB# 2327" by SMITH NEUBECKER, dated 05/08/1995.

1/4" Rebar found
NE corner of the
SE 1/4, Sec 28
T9N, R2W

N/F BARTLETT
DR. 417 PG. 78

5605 W. VERNAL PK.
BLOOMINGTON IN. 47404
ZONED AG/RR

N00°38'01"W
2109.53ft

2652.46ft

N/F BISSONNETTE
DR. 413 PG 109-110

5235 W. VERNAL PK.
BLOOMINGTON IN. 47404
ZONED AG/RR

2109.72ft
S00°38'01"E

2652.28ft

TRACT 2
15.13 AC.

N/F SPICER
DR. 432 PG. 614

5225 W. VERNAL PK.
BLOOMINGTON IN. 47404
ZONED AG/RR

NW corner of the
SE 1/4 of Sec. 28,
T9N, R2W

542.93ft
50' ACCESS EASEMENT

TRACT 1
3.89 AC.

542.56ft

N/F SPICER
DR. 323 PG. 351

5225 W. VERNAL PK.
BLOOMINGTON IN. 47404
ZONED AG/RR

S89°17'18"E 312.12'

N/F MARTIN
DR. 474 PG. 108

N/F ARKLE
DR. 457 PG. 733

BISSONNETTE
MINOR
SUBDIVISION

3203
SHEET

1
of
1

05/23/01

R-28716

Item #50 - MONUMENT, B

12/3/07

POT 10+14.38 "C" $\frac{1}{4}$ App. $\frac{1}{4}$ SEC LINE = 1 EA
 POT 10+00.00 "C" $\frac{1}{4}$ App. $\frac{1}{4}$ SEC. LINE = 1 EA.
 POT 30+00.00 "C" $\frac{1}{4}$ App. $\frac{1}{4}$ SEC. LINE = 1 EA.
 POT 42+00.00 "C" $\frac{1}{4}$ App. $\frac{1}{4}$ SEC. LINE = 1 EA.
 PC 46+49.53 "C" $\frac{1}{4}$ P.O.T. 46+49.53 "PR-2" = 1 EA.

12/4/07

PI 47+56.03 "PR-2" - PI 47+55.98 "C" = 1 EA
 PT. 48+62.38 "C" = 1 EA.
 PC 48+86.99 "C" = 1 EA
 POT 57+43.31 "PR-2" - PT 57+41.17 "C" = 1 EA
 POT 66+07.78 "C" = 1 EA
 PS 72+92.84 "C" = 1 EA
 PT 84 88.25 "C" = 1 EA

12/6/07

POT 92+00.00 "C" = 1 EA
 PC 101+10.58 "C" = 1 EA
 PI 101+89.27 "C" = 1 EA
 PT 102+67.94 "C" = 1 EA
 POT 106+53.02 "C" = PI 106+53.02 "PR-3" = 1 EA
~~POT 109+50.55 "C" (Type "D") Mon. = 1 EA.~~

TO FOR PG U-2-3

CALL BY: *[Signature]*

12-6-07
 0144 NOTES
 4 FIELD MEAS.
 28.00000

FIELD BOOK 4

53

Item #51 - MONUMENT, SECTION CORNER

12/3/07

PI 36+60.76 "C" App. CENTER COR = 1 EA
 $\frac{1}{4}$ SEC. 26

12/4/07

POT 85+05.54, 15.74 LT "C" $\frac{1}{4}$ = 1 EA
 App SEC. LINE COR.

2 EA

TO FOR PG U-2-3

*Surveyor
 Monuments*

Full set on file in
 the Highway
 Department office
 under "Vernal Pike
 New"

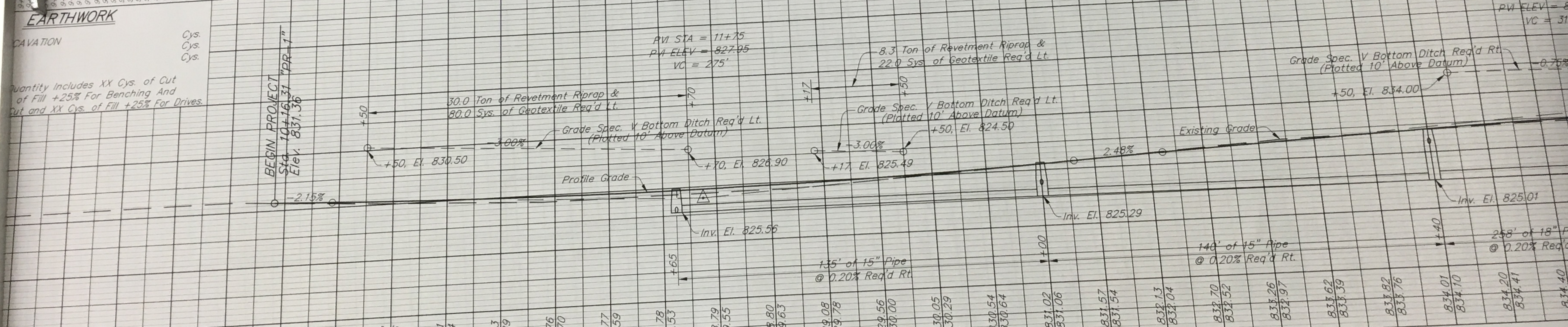
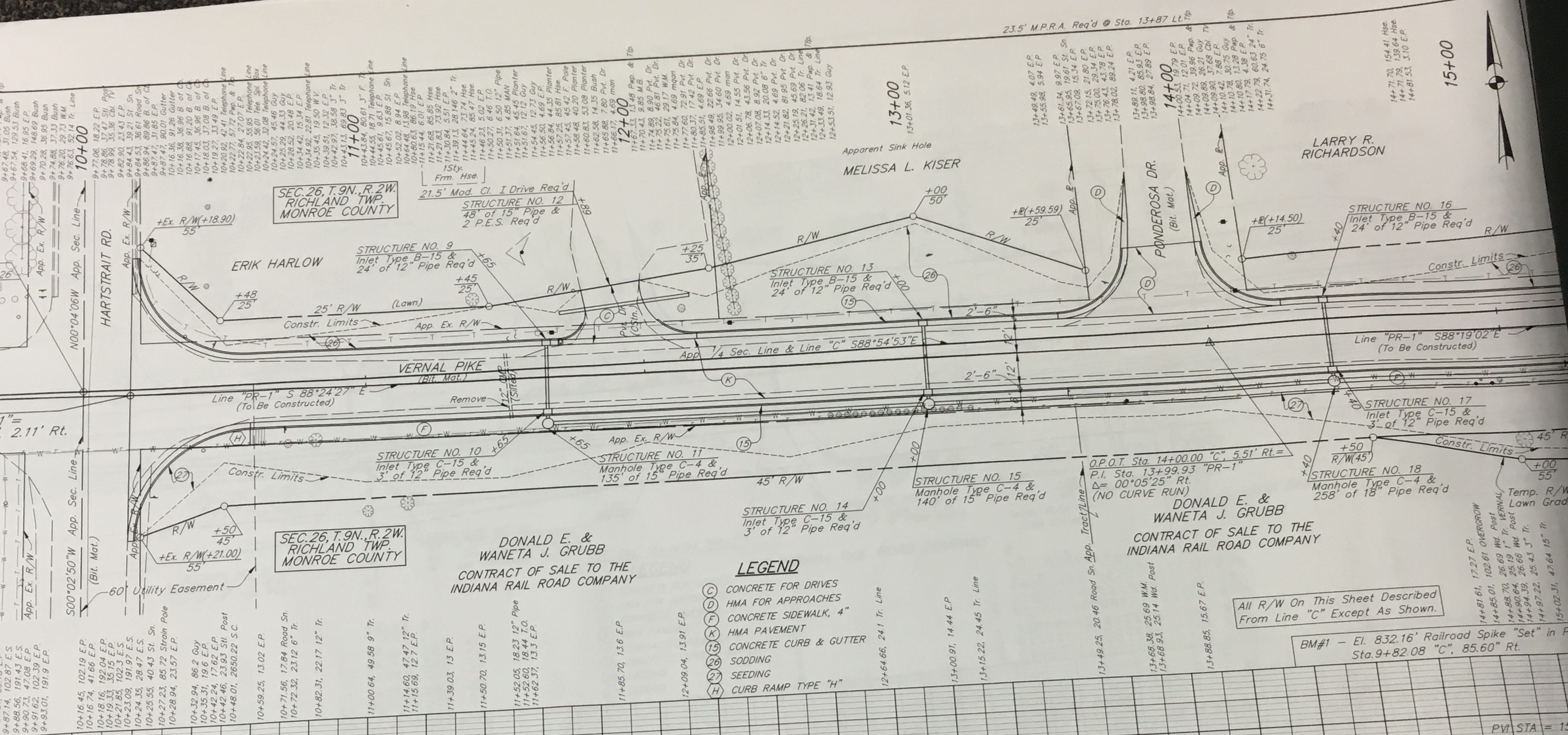
CHECK BY: *Ron Jantzen*

ADDITION
JAMES B. & OLORES M. BROCK
App. Ex. R/W

ORTH AMERICAN MINERALS, LLC

EARTHWORK

CAVATION
Quantity Includes XX Cys. of Cut of Fill +25% For Benching And Cut and XX Cys. of Fill +25% For Drives.



INDIANA DEPARTMENT OF TRANSPORTATION

VERNAL PIKE
MONROE COUNTY

RECOMMENDED FOR APPROVAL:

DESIGNED:	AL	DRAWN:	JM
CHECKED:	BZ	CHECKED:	AL

FILE 2209
DESIGNATION 9683081
SHEET 10 OF 10
PROJECT STP-84532

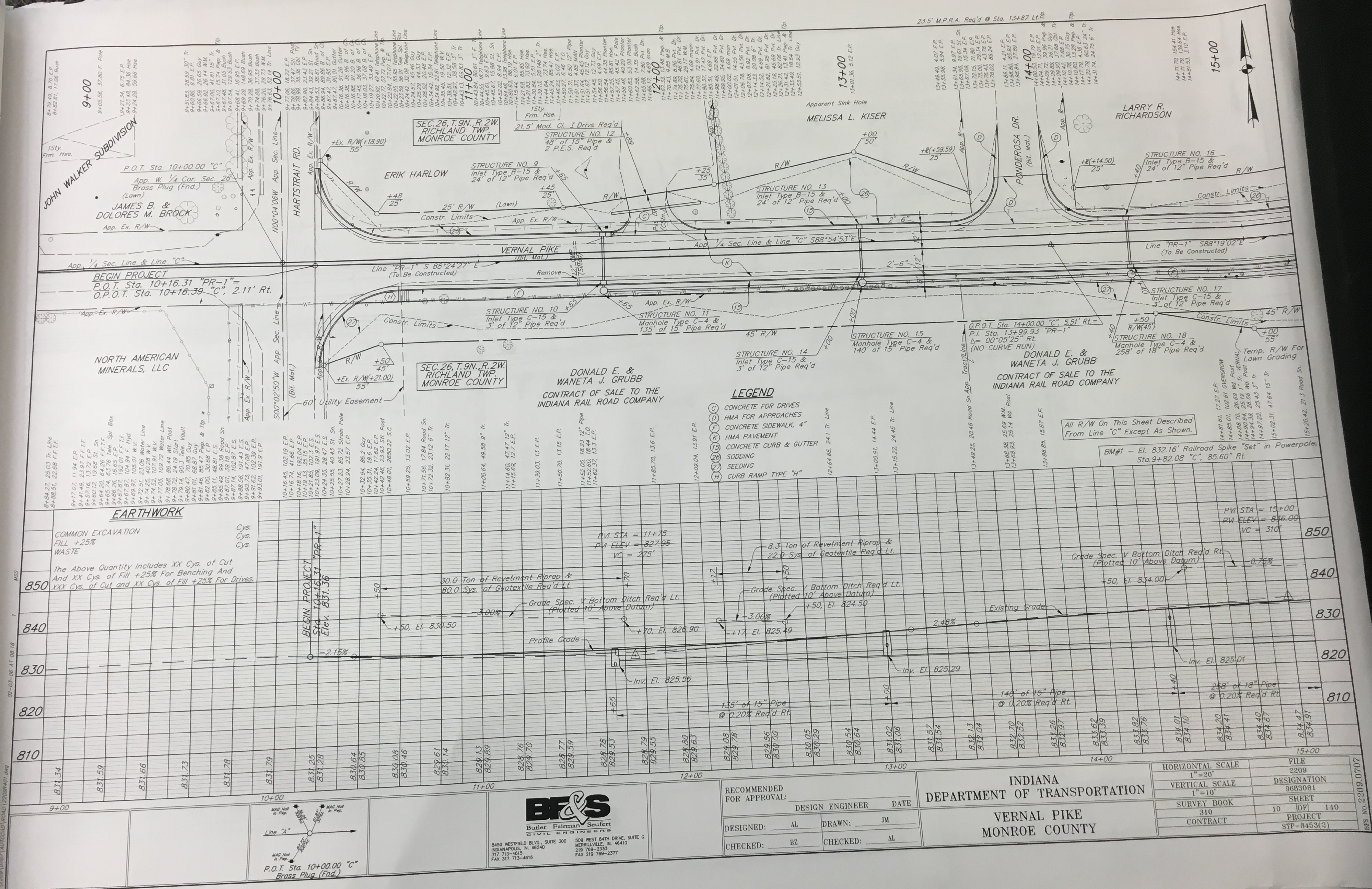
HORIZONTAL SCALE 1"=20'
VERTICAL SCALE 1"=10'
SURVEY BOOK 310
CONTRACT

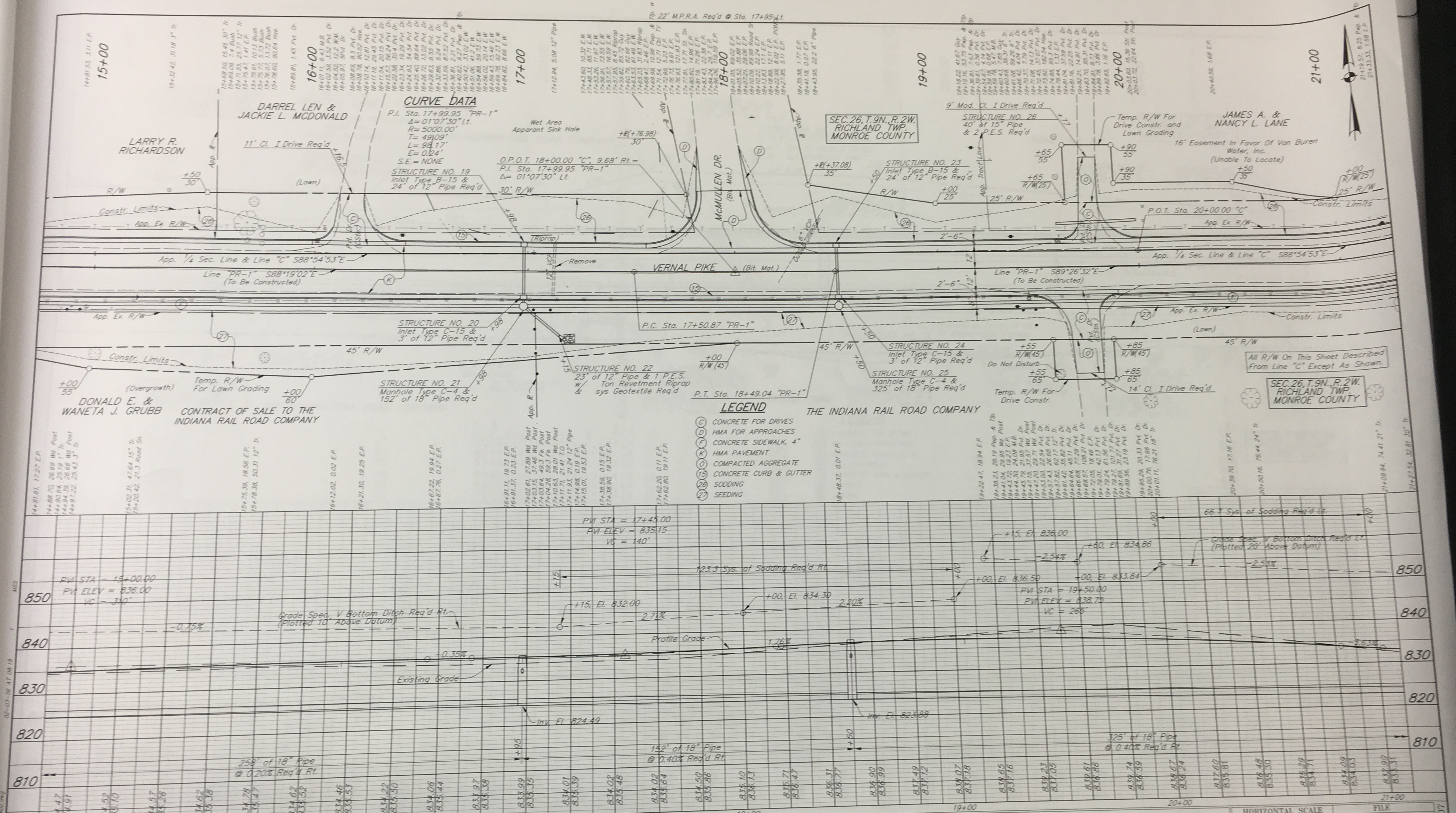
DATE

DESIGN ENGINEER

317 713-4615
317 713-4615
317 713-4615

509 WEST 84TH DRIVE, SUITE G
MERRILLVILLE, IN. 46410
219 769-2333
FAX 219 769-2377





CURVE DATA

P.I. Sta. 17+99.95 "PR-1"
Δ = 01°07'30" Lt.
R = 5000.00'
T = 491.09'
L = 98.17'
E = 0.84'
S.E. = NONE

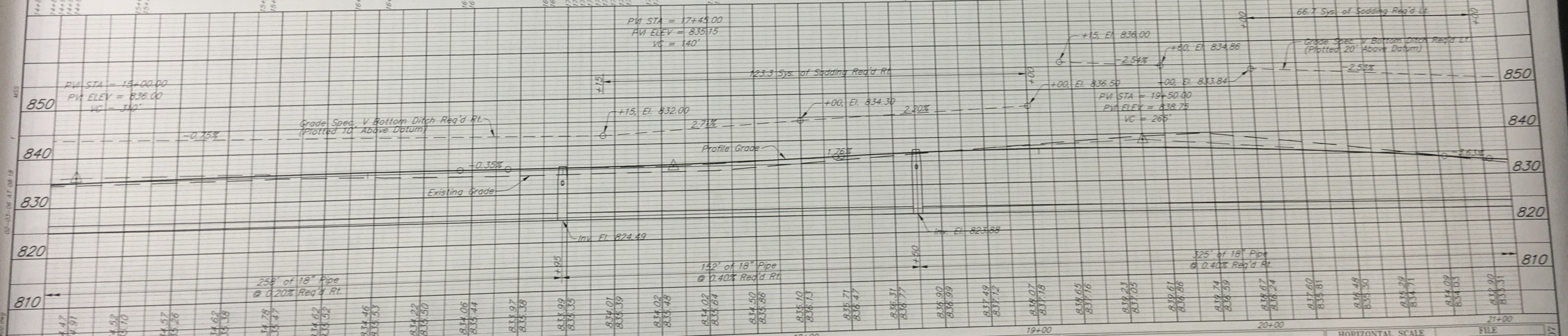
STRUCTURE NO. 19
Inlet Type B-15 &
24" of 12" Pipe Req'd

O.P.O.T. 18+00.00 "C" 9.68' Rt =
P.I. Sta. 17+99.95 "PR-1"
Δ = 01°07'30" Lt.

LEGEND

- (C) CONCRETE FOR DRIVES
- (D) HMA FOR APPROACHES
- (X) CONCRETE SIDEWALK, 4"
- (H) HMA PAVEMENT
- (O) COMPACTED AGGREGATE
- (S) CONCRETE CURB & GUTTER
- (SD) SODDING
- (SE) SEEDING

THE INDIANA RAIL ROAD COMPANY



8450 WESTFIELD BLVD., SUITE 300
INDIANAPOLIS, IN 46240
317 713-4810
FAX 317 713-4816

508 WEST 84TH DRIVE, SUITE G
MERRILLVILLE, IN 46540
219 769-2333
FAX 219 769-2377

RECOMMENDED FOR APPROVAL:	
DESIGNED: AL	DRAWN: JM
CHECKED: BZ	CHECKED: AL

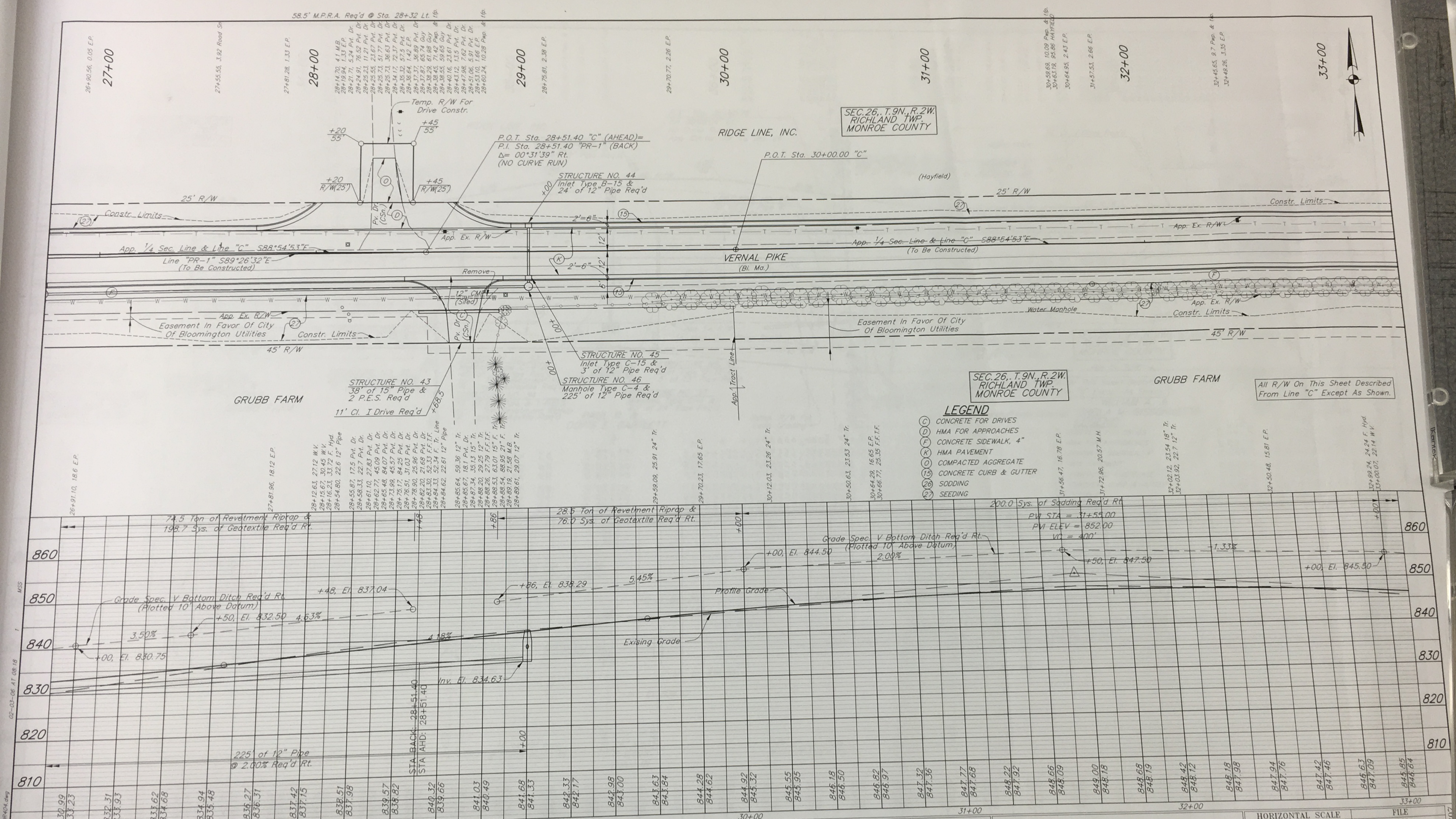
INDIANA
DEPARTMENT OF TRANSPORTATION

VERNAL PIKE
MONROE COUNTY

HORIZONTAL SCALE 1"=20'	FILE 2309
VERTICAL SCALE 1"=10'	DESIGNATION 9683081
SURVEY BOOK 310	SHEET 11 OF 140
CONTRACT	PROJECT STP-8453(2)

03-03-06 17:08:18

INFS NO. 2500.0707



SEC. 26, T. 9N, R. 2W.
RICHLAND TWP.
MONROE COUNTY

SEC. 26, T. 9N, R. 2W.
RICHLAND TWP.
MONROE COUNTY

LEGEND

- (C) CONCRETE FOR DRIVES
- (D) HMA FOR APPROACHES
- (F) CONCRETE SIDEWALK, 4"
- (X) HMA PAVEMENT
- (O) COMPACTED AGGREGATE
- (15) CONCRETE CURB & GUTTER
- (26) SODDING
- (27) SEEDING

All R/W On This Sheet Described
From Line "C" Except As Shown.

RECOMMENDED FOR APPROVAL:

DESIGNED: AL	DRAWN: JM
CHECKED: BZ	CHECKED: AL

INDIANA
DEPARTMENT OF TRANSPORTATION

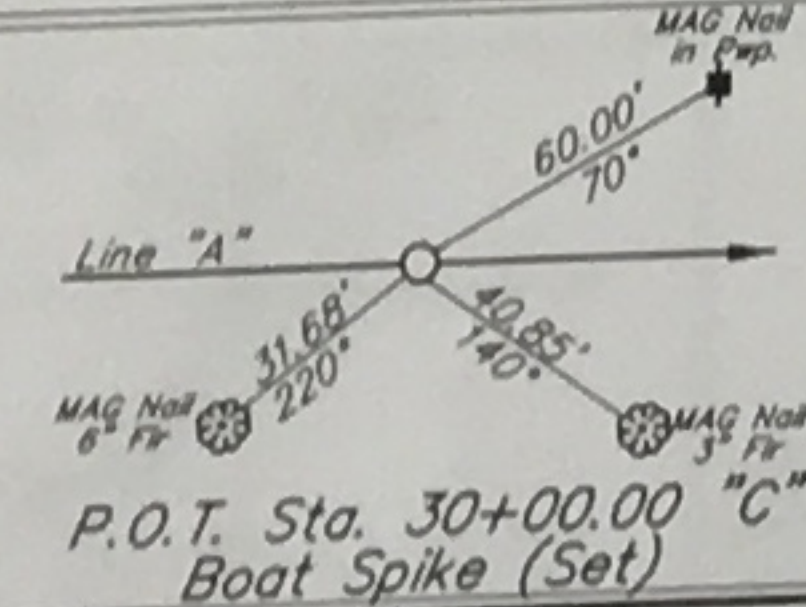
VERNAL PIKE
MONROE COUNTY

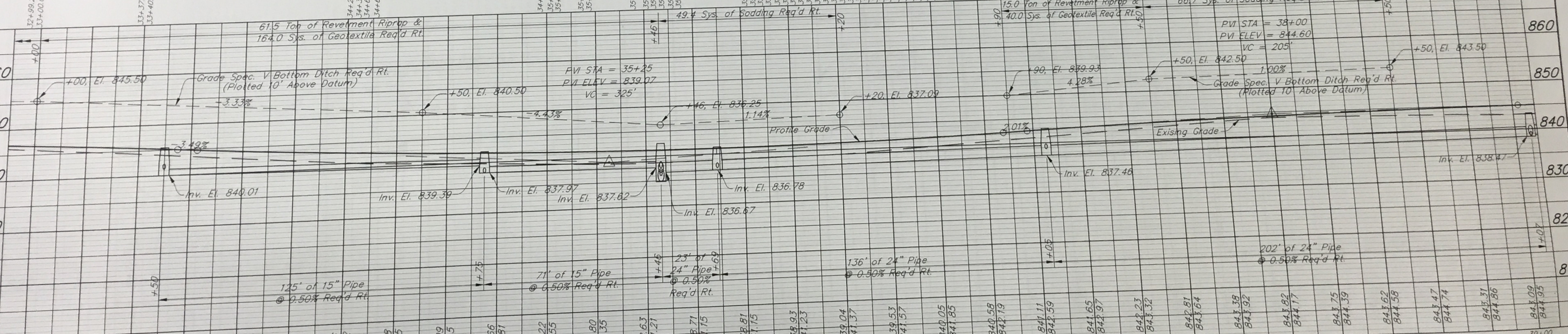
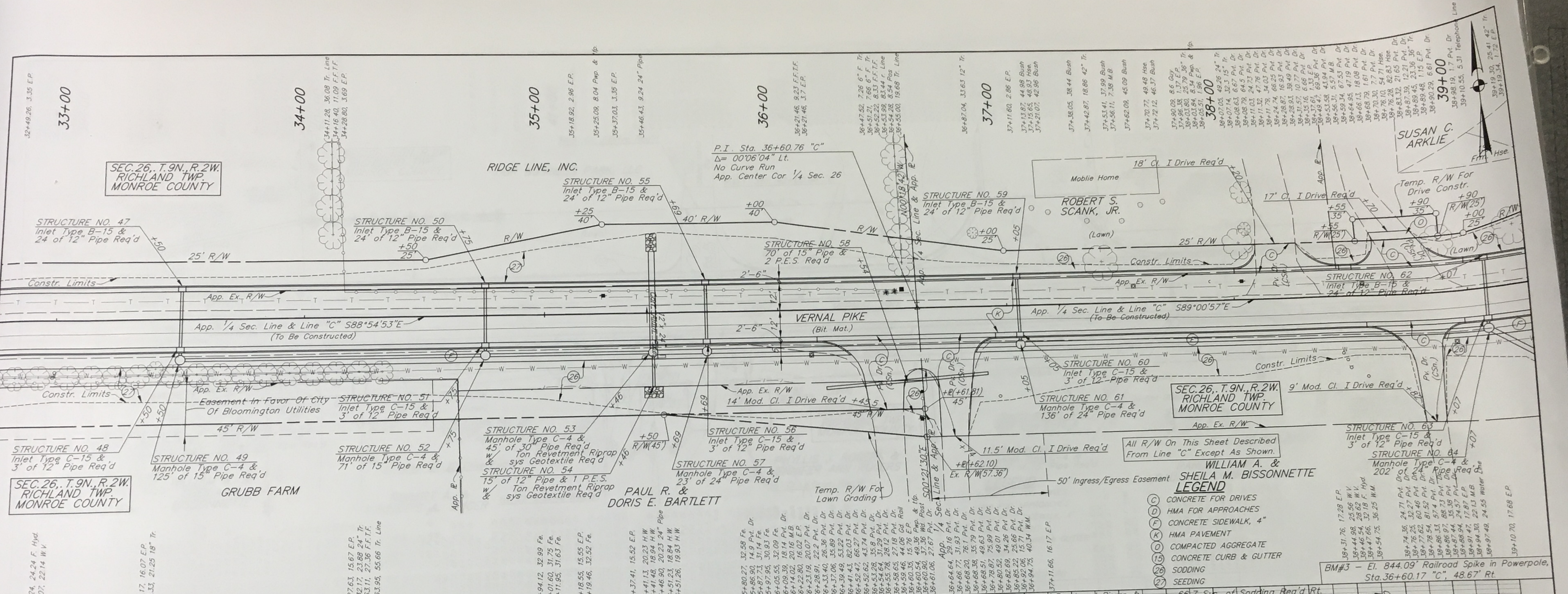
HORIZONTAL SCALE 1"=20'	FILE 2209
VERTICAL SCALE 1"=10'	DESIGNATION 9683081
SURVEY BOOK 310	SHEET 13 OF 140
CONTRACT	PROJECT STP-8453(2)



8450 WESTFIELD BLVD., SUITE 300
INDIANAPOLIS, IN 46240
317 713-4615
FAX 317 713-4616

509 WEST 84TH DRIVE, SUITE G
MERRILLVILLE, IN 46410
219 769-2333
FAX 219 769-2377





33+00

34+00

35+00

36+00

37+00

38+00

39+00

845.85

845.64

845.13

846.12

844.41

845.51

843.55

844.84

842.71

844.16

841.88

843.56

841.06

843.02

840.48

842.55

840.09

842.15

839.66

841.81

839.22

841.55

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838.63

841.21

838.71

841.15

838.81

841.15

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840.58

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841.11

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843.32

842.81

843.64

843.38

843.92

843.82

844.17

843.75

844.39

843.62

844.58

844.47

844.74

843.31

844.86

843.09

844.95

INDIANA
DEPARTMENT OF TRANSPORTATION

VERNAL PIKE
MONROE COUNTY

RECOMMENDED
FOR APPROVAL:

DESIGNED: AL
CHECKED: BZ

DESIGN ENGINEER: JM
DATE: AL

HORIZONTAL SCALE
1"=20'

VERTICAL SCALE
1"=10'

SURVEY BOOK
310

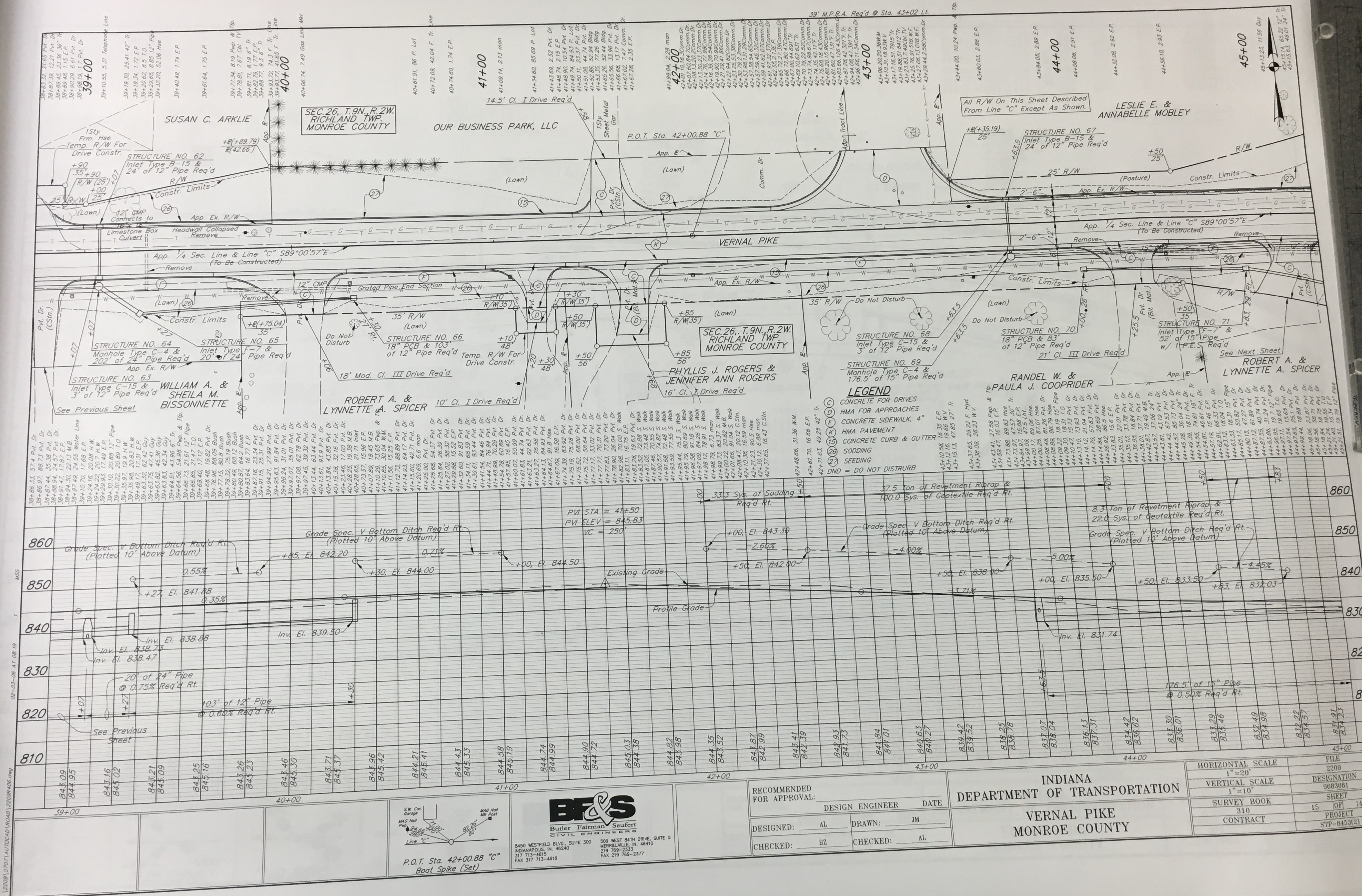
CONTRACT
STP-84532

FILE
2209

DESIGNATION
9683081

SHEET
14 OF 140

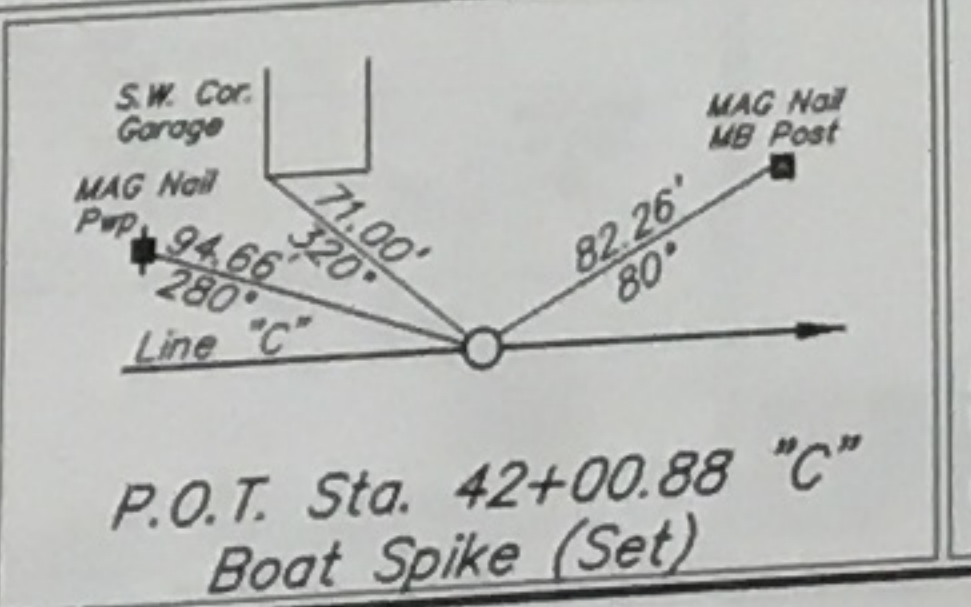
PROJECT
STP-84532



02-03-06 AT 08:19
J: 12209 (0707) AUTOCAD (ROAD) 2209R06.dwg

39+00	39+05	39+10	39+15	39+20	39+25	39+30	39+35	39+40	39+45	39+50	39+55	39+60	39+65	39+70	39+75	39+80	39+85	39+90	39+95	40+00	40+05	40+10	40+15	40+20	40+25	40+30	40+35	40+40	40+45	40+50	40+55	40+60	40+65	40+70	40+75	40+80	40+85	40+90	40+95	41+00	41+05	41+10	41+15	41+20	41+25	41+30	41+35	41+40	41+45	41+50	41+55	41+60	41+65	41+70	41+75	41+80	41+85	41+90	41+95	42+00	42+05	42+10	42+15	42+20	42+25	42+30	42+35	42+40	42+45	42+50	42+55	42+60	42+65	42+70	42+75	42+80	42+85	42+90	42+95	43+00	43+05	43+10	43+15	43+20	43+25	43+30	43+35	43+40	43+45	43+50	43+55	43+60	43+65	43+70	43+75	43+80	43+85	43+90	43+95	44+00	44+05	44+10	44+15	44+20	44+25	44+30	44+35	44+40	44+45	44+50	44+55	44+60	44+65	44+70	44+75	44+80	44+85	44+90	44+95	45+00
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845.09	844.95	845.16	845.02	845.21	845.09	845.25	845.16	845.26	845.23	845.46	845.30	845.71	845.37	845.96	845.42	844.21	845.41	844.43	845.33	844.58	845.19	844.74	844.99	844.90	844.72	845.03	844.58	844.82	845.98	844.35	845.52	844.87	844.99	845.41	844.39	844.93	844.73	844.84	844.01	840.63	840.27	839.42	839.52	838.25	838.78	837.07	838.04	836.13	837.31	834.42	836.62	833.30	836.01	835.29	835.46	832.49	834.98	832.22	834.57	831.91	834.23
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B&S
Butler Fairman Seufert
CIVIL ENGINEERS
8450 WESTFIELD BLVD., SUITE 300
INDIANAPOLIS, IN 46240
317 713-4815
FAX 317 713-4818

509 WEST 84TH DRIVE, SUITE G
MERRILLVILLE, IN 46410
219 769-2333
FAX 219 769-2377

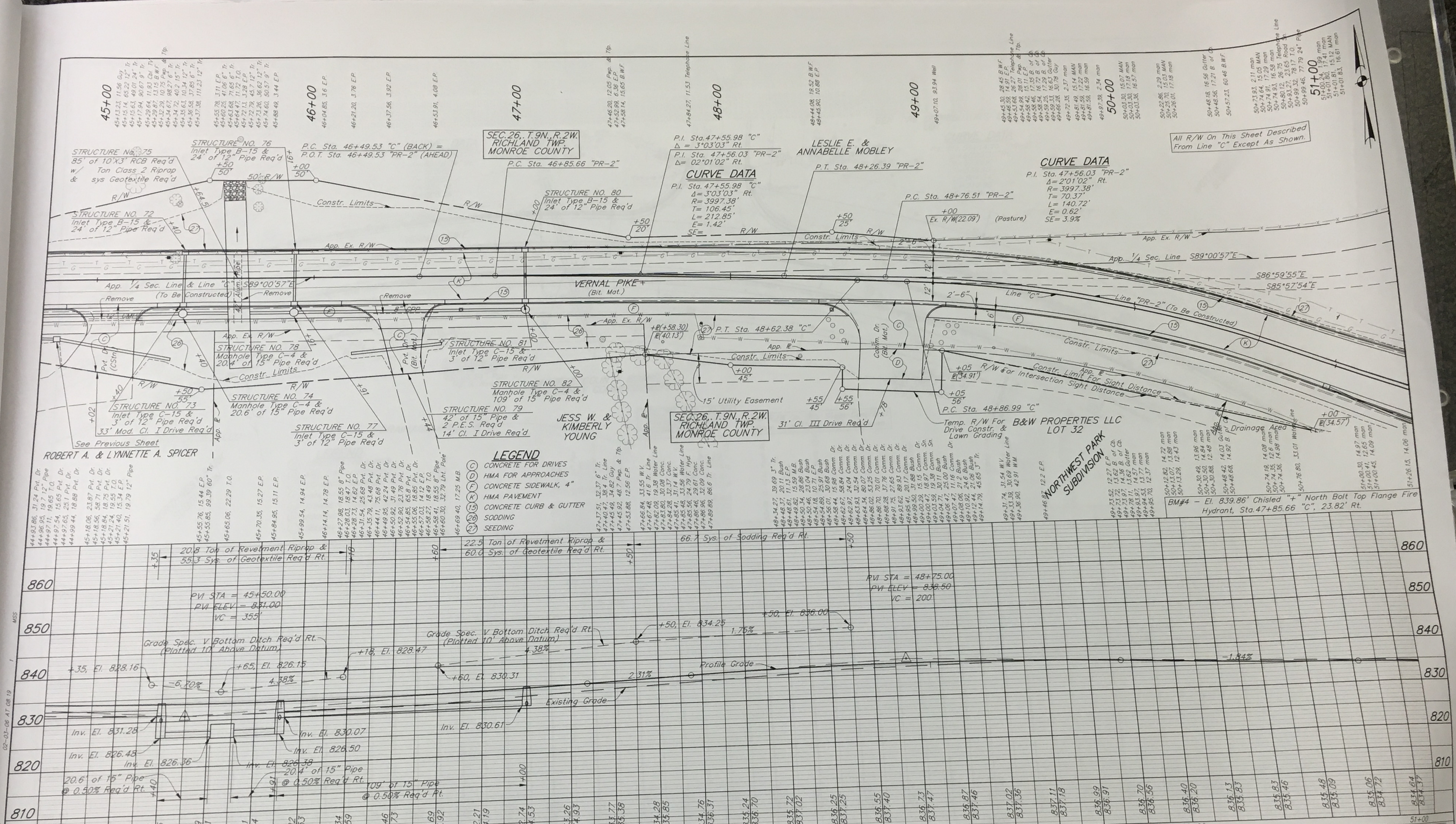
RECOMMENDED FOR APPROVAL:

DESIGNED:	AL	DRAWN:	JM
CHECKED:	BZ	CHECKED:	AL

INDIANA
DEPARTMENT OF TRANSPORTATION

VERNAL PIKE
MONROE COUNTY

HORIZONTAL SCALE	FILE
1"=20'	2209
VERTICAL SCALE	DESIGNATION
1"=10'	9683081
SURVEY BOOK	SHEET
310	15 OF 140
CONTRACT	PROJECT
	STP-8453(2)



SEC. 26, T. 9N, R. 2W
RICHLAND TWP.
MONROE COUNTY

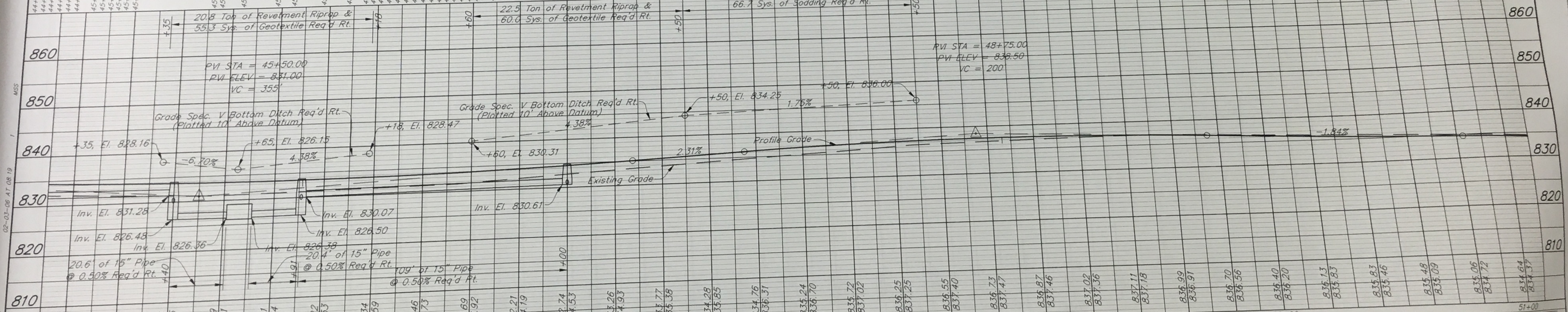
LESLIE E. &
ANNABELLE MOBLEY

SEC. 26, T. 9N, R. 2W
RICHLAND TWP.
MONROE COUNTY

TEMP. R/W FOR B&W PROPERTIES LLC
DRIVE CONSTR. &
LAWN GRADING

CURVE DATA
P.I. Sta. 47+56.03 "PR-2"
Δ = 2°01'02" Rt.
R = 3997.38'
T = 70.37'
L = 140.72'
E = 0.62'
SE = 3.9%

- LEGEND
- (C) CONCRETE FOR DRIVES
 - (H) HMA FOR APPROACHES
 - (D) CONCRETE SIDEWALK, 4"
 - (X) HMA PAVEMENT
 - (15) CONCRETE CURB & GUTTER
 - (26) SODDING
 - (27) SEEDING



45+00

Line "C"

P.C. Sta. 46+49.53 "C"

Boat Spike (Set)

46+00

Line "C"

P.I. Sta. 47+55.98 "C"

Boat Spike (Set)

47+00

Line "C"

P.T. Sta. 48+62.38 "C"

Boat Spike (Set)

48+00

Line "C"

P.C. Sta. 48+86.99 "C"

Boat Spike (Set)

RECOMMENDED FOR APPROVAL:

DESIGNED: AL DRAWN: JM

CHECKED: BZ CHECKED: AL

INDIANA DEPARTMENT OF TRANSPORTATION

VERNAL PIKE MONROE COUNTY

HORIZONTAL SCALE 1"=20'

VERTICAL SCALE 1"=10'

SURVEY BOOK 310

CONTRACT

FILE 2209

DESIGNATION 9683081

SHEET 16 OF 140

PROJECT STP-8453(2)

B&S

Bulter Fairman Seufert CIVIL ENGINEERS

8450 WESTFIELD BLVD., SUITE 300 INDIANAPOLIS, IN 46240 317 713-4615 FAX 317 713-4616

509 WEST 84TH DRIVE, SUITE G MERRILLVILLE, IN 46410 219 769-2333 FAX 219 769-2377

SEC. 25, T. 9N, R. 2W
RICHLAND TWP.
MONROE COUNTY

CHARLES H. DUNN, JR.,
JAMES H. FERGUSON, AND
PEGGY J. RAGLE

CHARLES H. DUNN, JR.,
JAMES H. FERGUSON, AND
PEGGY J. RAGLE

P.O.T. Sta. 110+49.12 "C" (AHEAD)=
P.I. Sta. 110+46.98 "PR-3" (BACK)
 $\Delta = 00^\circ 30' 00''$ Rt.
NO CURVE RUN

RR Spike (End.)
S 1/4 Cor. Sec. 25

P.O.T. Sta. 111+67.943 "C"

All R/W On This Sheet Described
From Line "C" Except As Shown.

LEGEND

- (F) CONCRETE SIDEWALK, 4"
- (26) SODDING
- (H) CURB RAMP TYPE "H"
- (4) 100'-0" W-BEAM GUARDRAIL, 6'-3" SPACING
- (5) 25'-0" W-BEAM GUARDRAIL, 6'-3" SPACING
- (7) GUARDRAIL END TREATMENT, TYPE OS



BFS
Butler Fairman Seufert
CIVIL ENGINEERS
8450 WESTFIELD BLVD., SUITE 300
INDIANAPOLIS, IN 46240
317 713-4615
FAX 317 713-4616

509 WEST 84TH DRIVE, SUITE G
MERRILLVILLE, IN 46410
219 769-2333
FAX 219 769-2377

RECOMMENDED FOR APPROVAL:

DESIGNED:	AL	DRAWN:	JM
CHECKED:	BZ	CHECKED:	AL

INDIANA
DEPARTMENT OF TRANSPORTATION
VERNAL PIKE
MONROE COUNTY

HORIZONTAL SCALE 1"=20'	FILE 2209
VERTICAL SCALE 1"=10'	DESIGNATION 9683081
SURVEY BOOK 310	SHEET 28 OF 140
CONTRACT	PROJECT STP-8453(2)

PROJECT	DESIGNATION
STP-8453(2)	9683081
CONTRACT	

INDIANA DEPARTMENT OF TRANSPORTATION

ROAD PLANS VERNAL PIKE

Road Rehabilitation and Road Reconstruction of Vernal Pike From North Hartstrait Road
To North Curry Pike in Sections 25, 26, 35 and 36, T-9-N, R-2-W in Richland Township,
Monroe County, Indiana.

MONROE COUNTY BOARD OF COMMISSIONERS

JOYCE POLING President

HERB KILMER Vice
President

IRIS F. KIESLING Commissioner

Attest:
SANDY NEWMANN Auditor

WILLIAM WILLIAMS Highway
Engineer

PROJECT NO. STP-8453(2) P.E.
R/W
CONST.

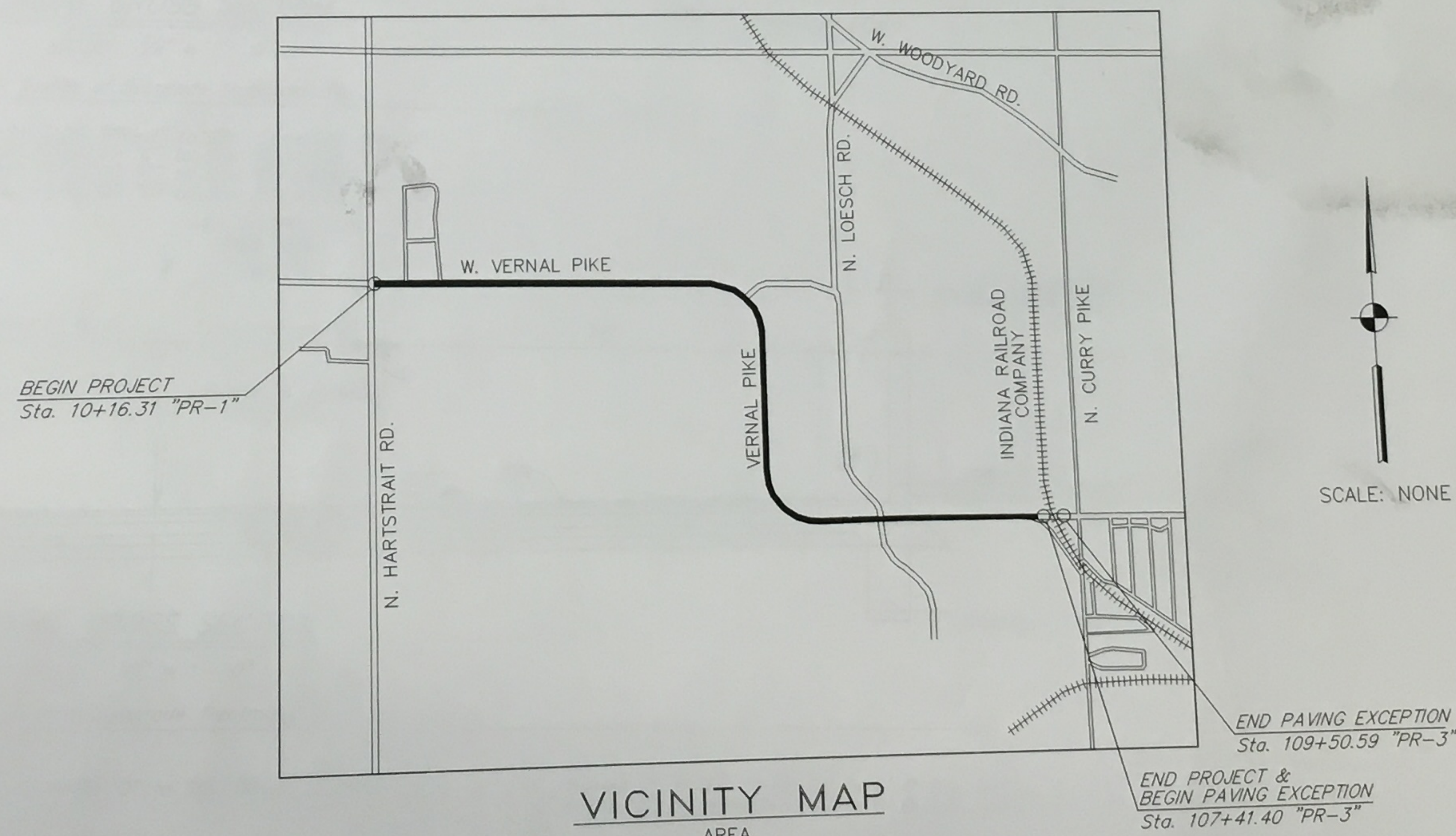
GROSS LENGTH: 1.8 Miles
NET LENGTH: 1.8 Miles

PLAN LONG. = 1"=20'
TRANS. = 1"=20'

SCALES:

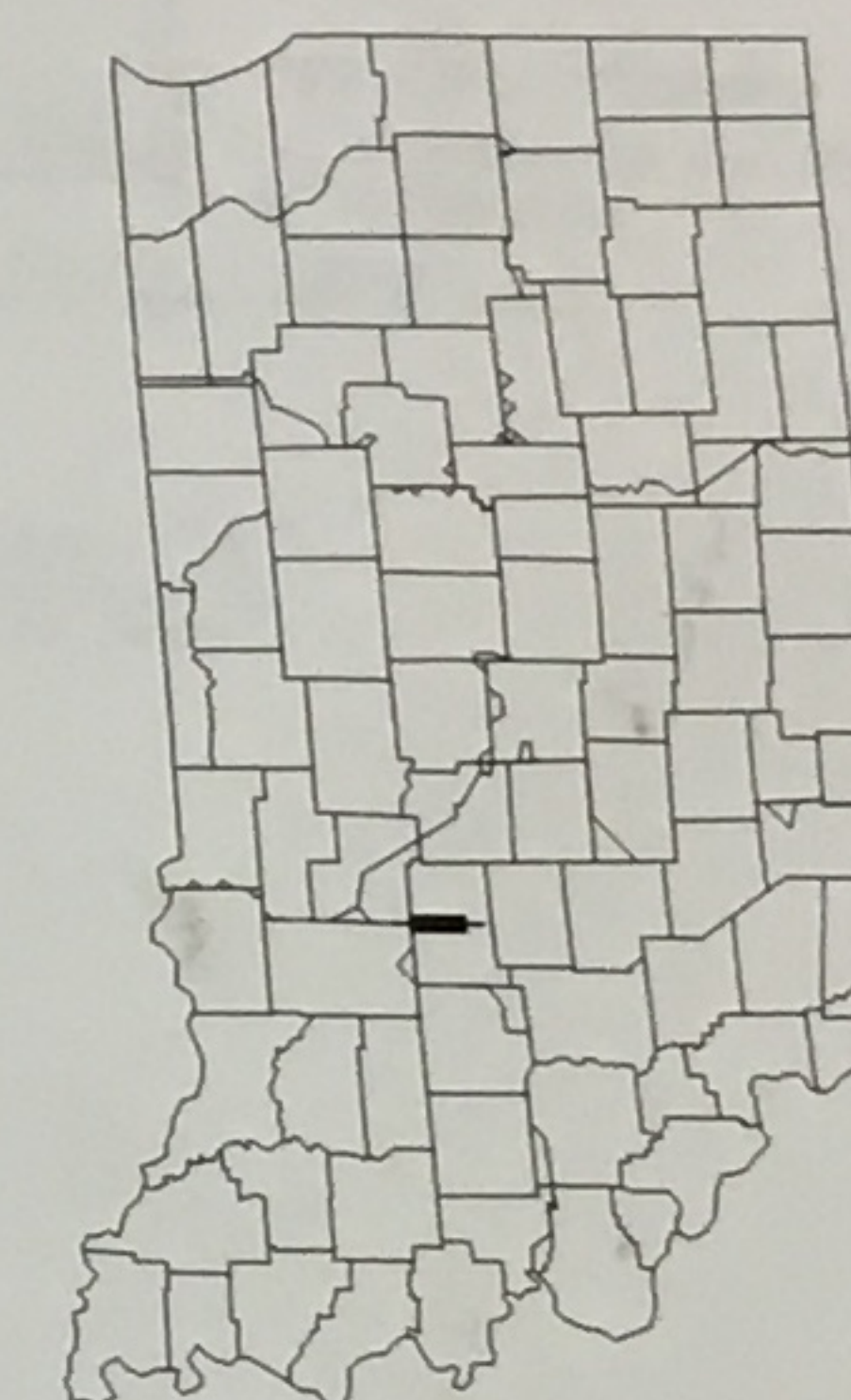
PROFILE HORIZ. = 1"=20'
VERT. = 1"=10'

MAX. GRADE = 6.80%



VICINITY MAP
AREA

TRAFFIC DATA	
A.A.T. 2004	3330 V.P.D.
A.A.T. 2024	4950 V.P.D.
D.H.V.	495 V.P.H.
DIRECTIONAL DISTRIBUTION	50%
TRUCKS	5% D.H.V.
	5% A.A.T.
DESIGN DATA	
DESIGN SPEED	40 mph
PROJECT DESIGN CRITERIA	3R (NON FREEWAY)
FUNCTIONAL CLASSIFICATION	LOCAL AGENCY COLLECTOR
RURAL/URBAN	URBAN (INTERMEDIATE)
TERRAIN	LEVEL
ACCESS CONTROL	NONE



PROJECT LOCATION SHOWN BY

[INDIANA DEPARTMENT OF TRANSPORTATION
STANDARD SPECIFICATIONS DATED 2006
TO BE USED WITH THESE PLANS]

BFS
Butler Fairman Seufert
CIVIL ENGINEERS

8450 WESTFIELD BLVD., SUITE 300
INDIANAPOLIS, IN. 46240
317 713-4615
FAX 317 713-4616

509 WEST 84TH DRIVE, SUITE C
MERRILLVILLE, IN. 46410
219 769-2333
FAX 219 769-2377

PLANS
PREPARED BY: *Butler Fairman and Seufert Inc.* (317) 713-4615
PHONE NUMBER
CERTIFIED BY: DATE
APPROVED FOR LETTING: DATE
CHIEF, DIVISION OF DESIGN

FILE
2209.0707
DESIGNATION
9683081
SHEET
1 of 140
PROJECT
STP-8453(2)



Butler Fairman Seufert
CONSULTING ENGINEERS

KENNETH L. MINETT, P.E.

Client Services

1-800-553-0863

8450 WESTFIELD BLVD., SUITE 300
INDIANAPOLIS, IN 46240-8302

TEL 317 713 4615 FAX 317 713 4616

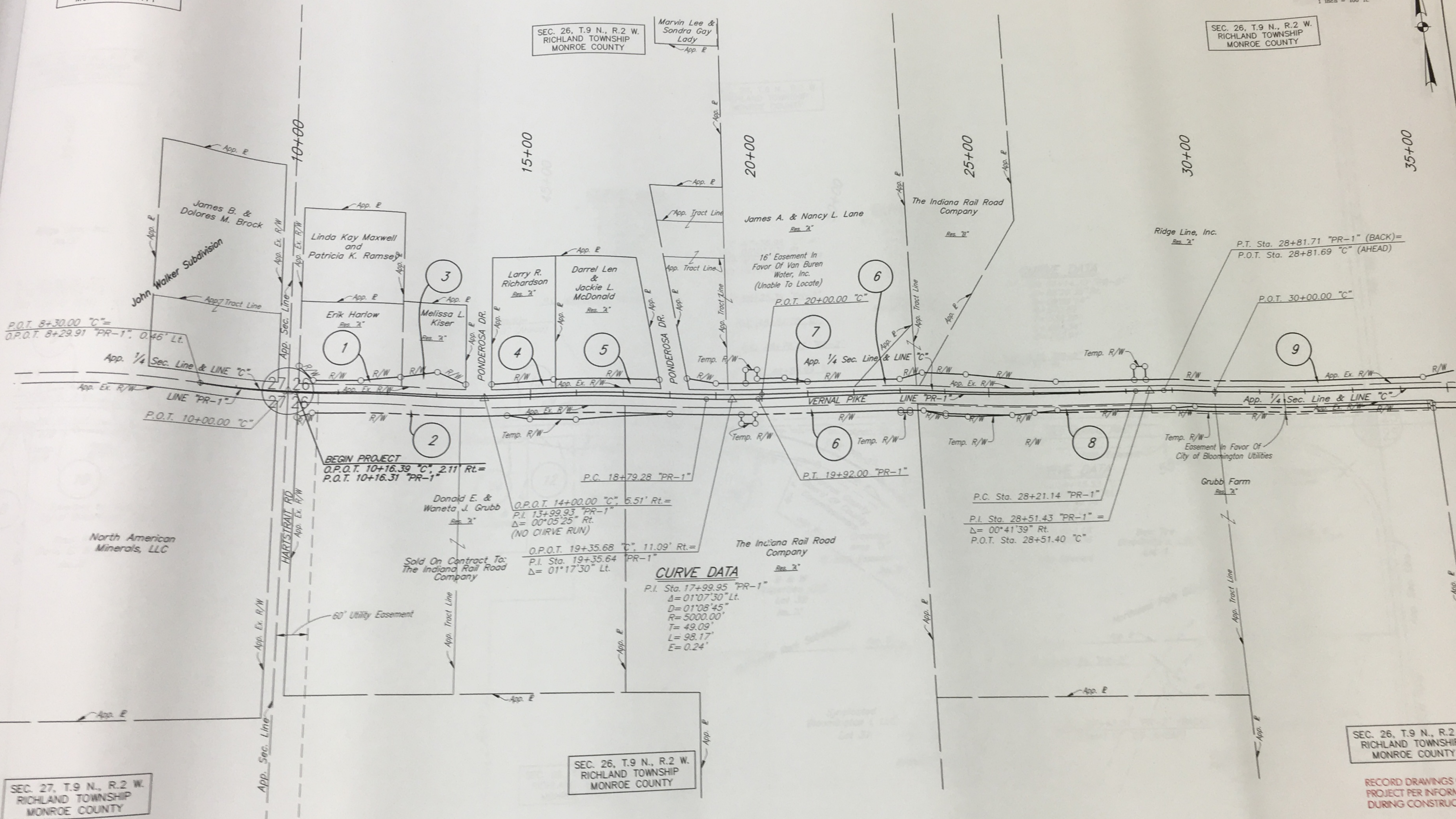
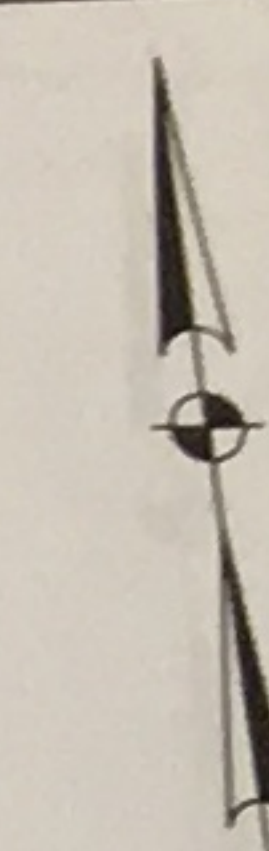
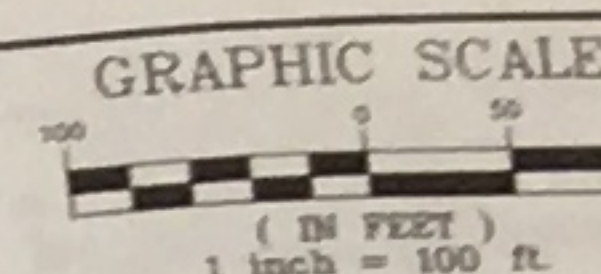
MOBILE 317 445 8800 HOME 317 422 9894

E-MAIL kminett@BFSEngr.com

SEC. 27, T.9 N., R.2 W.
RICHLAND TOWNSHIP
MONROE COUNTY

SEC. 26, T.9 N., R.2 W.
RICHLAND TOWNSHIP
MONROE COUNTY

SEC. 26, T.9 N., R.2 W.
RICHLAND TOWNSHIP
MONROE COUNTY

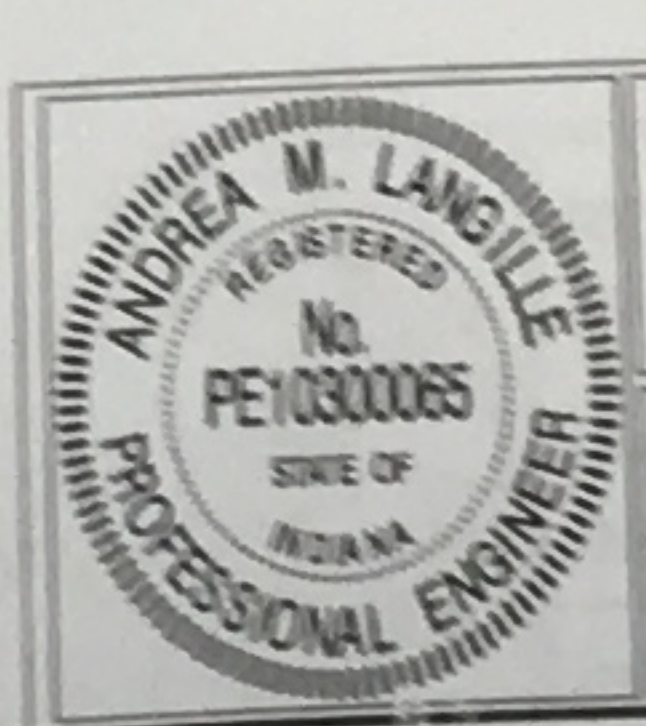


SEC. 27, T.9 N., R.2 W.
RICHLAND TOWNSHIP
MONROE COUNTY

SEC. 26, T.9 N., R.2 W.
RICHLAND TOWNSHIP
MONROE COUNTY

SEC. 26, T.9 N., R.2 W.
RICHLAND TOWNSHIP
MONROE COUNTY

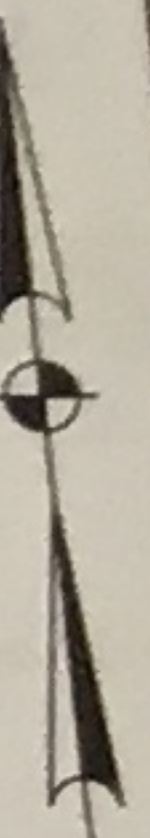
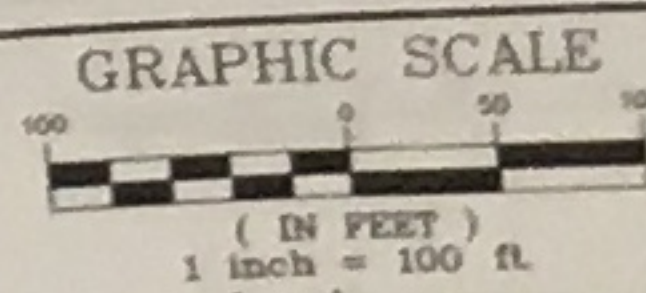
RECORD DRAWINGS OF CONSTRUCTED
PROJECT PER INFORMATION COLLECTED
DURING CONSTRUCTION



RECOMMENDED FOR APPROVAL *[Signature]* 6-6-06
DESIGNED: DKH DRAWN: JHS
CHECKED: DKH CHECKED: DKH

MONROE COUNTY
VERNAL PIKE
PLAT 1

HORIZONTAL SCALE 1" = 100'	FILE 2209
VERTICAL SCALE N/A	DESIGNATION 9683081
SURVEY BOOK 310	SHEET 5 of 183
CONTRACT R-28716	PROJECT STP-8453(2)



SEC. 26, T.9 N., R.2 W.
RICHLAND TOWNSHIP
MONROE COUNTY

SEC. 26, T.9 N., R.2 W.
RICHLAND TOWNSHIP
MONROE COUNTY

SEC. 26, T.9 N., R.2 W.
RICHLAND TOWNSHIP
MONROE COUNTY

SEC. 26, T.9 N., R.2 W.
RICHLAND TOWNSHIP
MONROE COUNTY

CURVE DATA

P.I. Sta. 47+55.98 "C"
 $\Delta = 03^{\circ}03'03''$ Rt.
 $D = 01^{\circ}26'00''$
 $R = 3997.38'$
 $T = 106.45'$
 $L = 212.85'$
 $E = 1.42'$

CURVE DATA

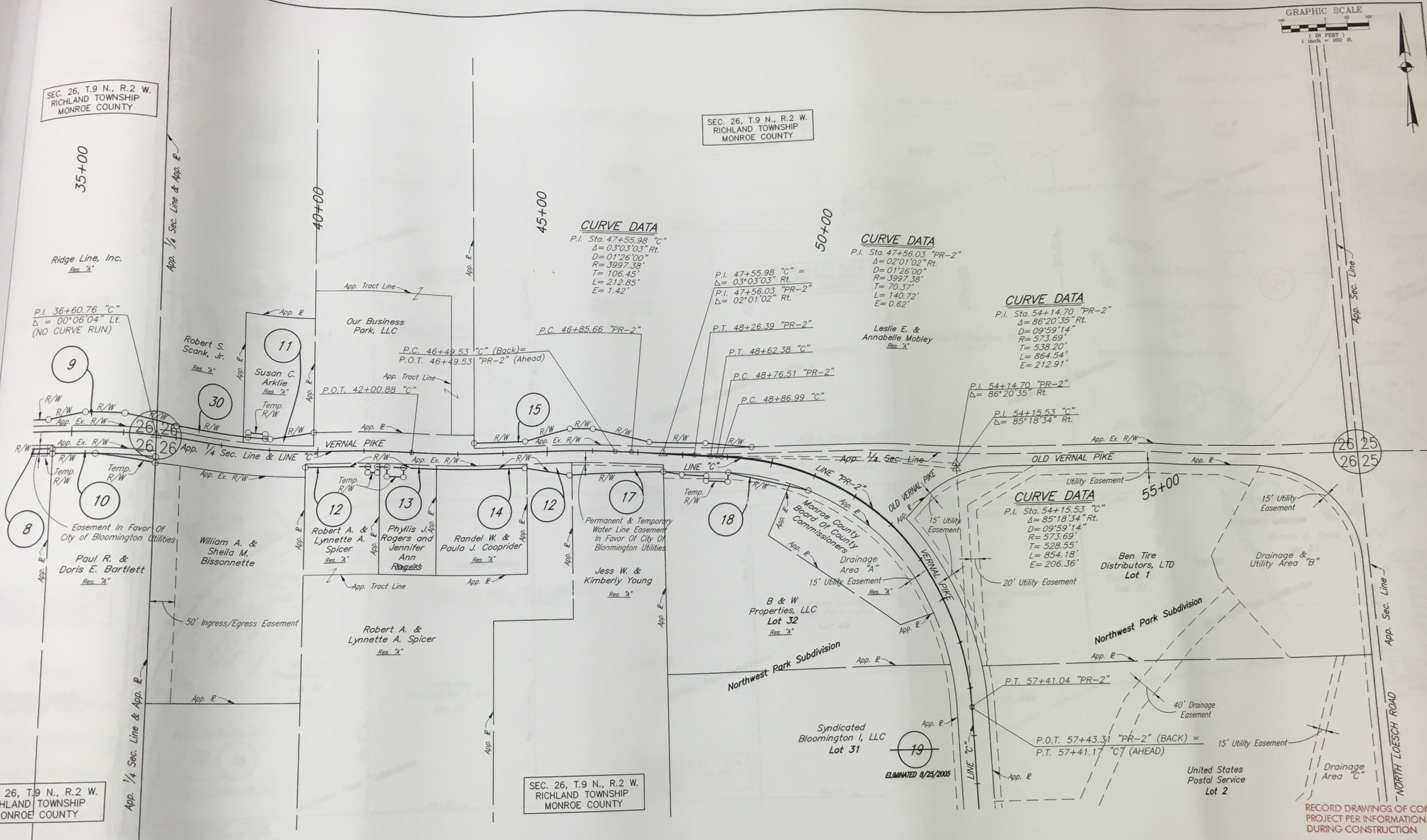
P.I. Sta. 47+56.03 "PR-2"
 $\Delta = 02^{\circ}01'02''$ Rt.
 $D = 01^{\circ}26'00''$
 $R = 3997.38'$
 $T = 70.37'$
 $L = 140.72'$
 $E = 0.62'$

CURVE DATA

P.I. Sta. 54+14.70 "PR-2"
 $\Delta = 86^{\circ}20'35''$ Rt.
 $D = 09^{\circ}59'14''$
 $R = 573.69'$
 $T = 538.20'$
 $L = 864.54'$
 $E = 212.91'$

CURVE DATA

P.I. Sta. 54+15.53 "C"
 $\Delta = 85^{\circ}18'34''$ Rt.
 $D = 09^{\circ}59'14''$
 $R = 573.69'$
 $T = 528.55'$
 $L = 854.18'$
 $E = 206.36'$



RECORD DRAWINGS OF CONSTRUCTED
PROJECT PER INFORMATION COLLECTED
DURING CONSTRUCTION



RECOMMENDED
FOR APPROVAL *[Signature]* 6-8-06
DESIGN ENGINEER DATE
DESIGNED: DKH DRAWN: JHS
CHECKED: DKH CHECKED: DKH

MONROE COUNTY
VERNAL PIKE

PLAT 1

HORIZONTAL SCALE	FILE
1" = 100'	2209
VERTICAL SCALE	DESIGNATION
N/A	9683081
SURVEY BOOK	SHEET
310	6 OF 183
CONTRACT	PROJECT
R-28716	STP-8453(2)

SEC. 25, T.9 N., R.2 W.
RICHLAND TOWNSHIP
MONROE COUNTY

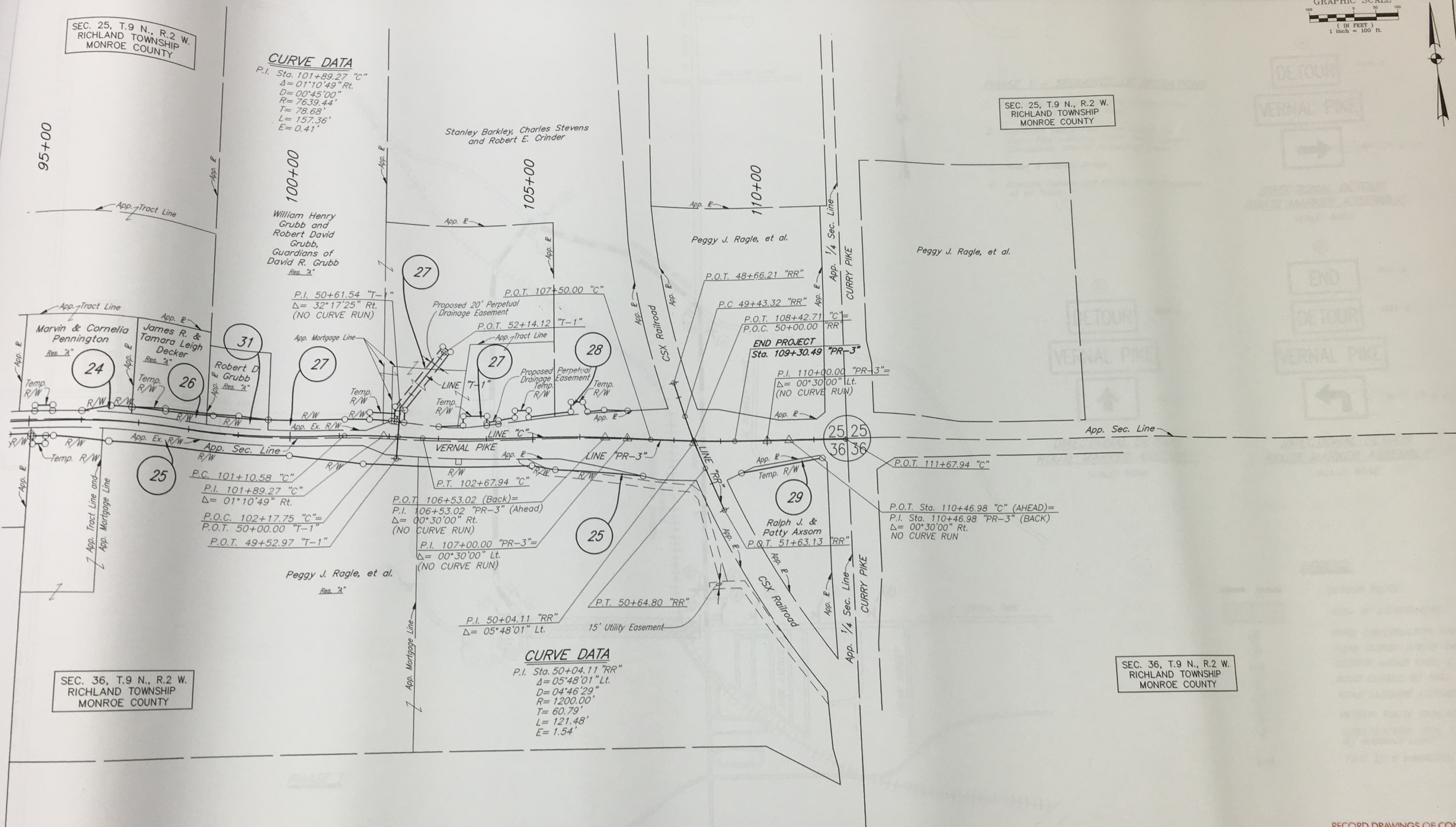
CURVE DATA

P.I. Sta. 101+89.27 "C"
 $\Delta = 01^{\circ}10'49"$ Rt.
 $D = 00^{\circ}45'00"$
 $R = 7639.44'$
 $T = 78.68'$
 $L = 157.36'$
 $E = 0.41'$

Stanley Barkley, Charles Stevens
and Robert E. Grinder

SEC. 25, T.9 N., R.2 W.
RICHLAND TOWNSHIP
MONROE COUNTY

GRAPHIC SCALE
(IN FEET)
1 inch = 100 ft



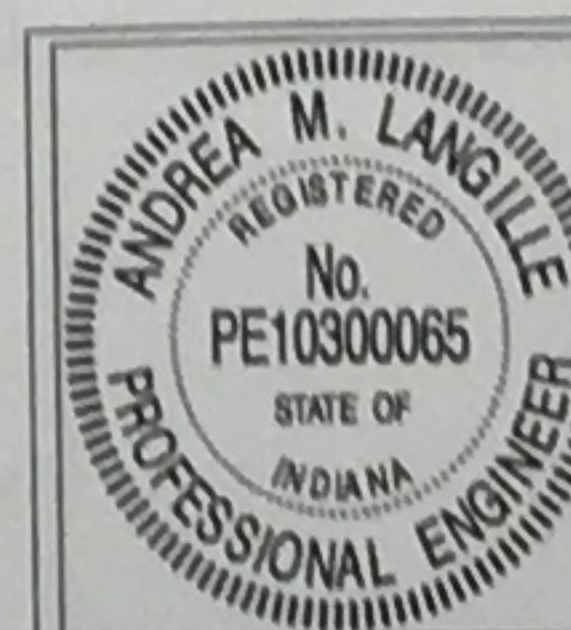
SEC. 36, T.9 N., R.2 W.
RICHLAND TOWNSHIP
MONROE COUNTY

CURVE DATA

P.I. Sta. 50+04.11 "RR"
 $\Delta = 05^{\circ}48'01"$ Lt.
 $D = 04^{\circ}46'29"$
 $R = 1200.00'$
 $T = 60.79'$
 $L = 121.48'$
 $E = 1.54'$

SEC. 36, T.9 N., R.2 W.
RICHLAND TOWNSHIP
MONROE COUNTY

RECORD DRAWINGS OF CONSTRUCTED
PROJECT PER INFORMATION COLLECTED
DURING CONSTRUCTION



RECOMMENDED
FOR APPROVAL

Andrea M. Langille
DESIGN ENGINEER DATE 8-6-06

DESIGNED: DKH

DRAWN: JHS

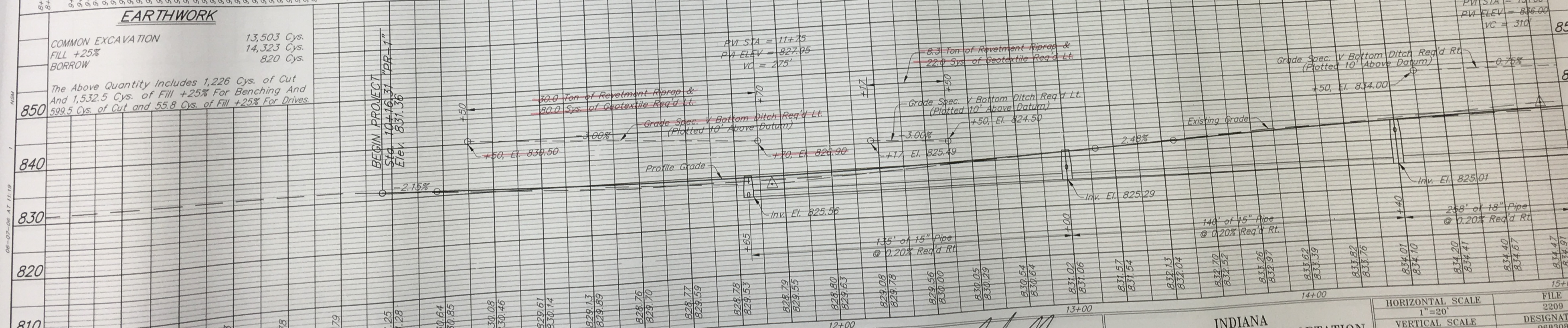
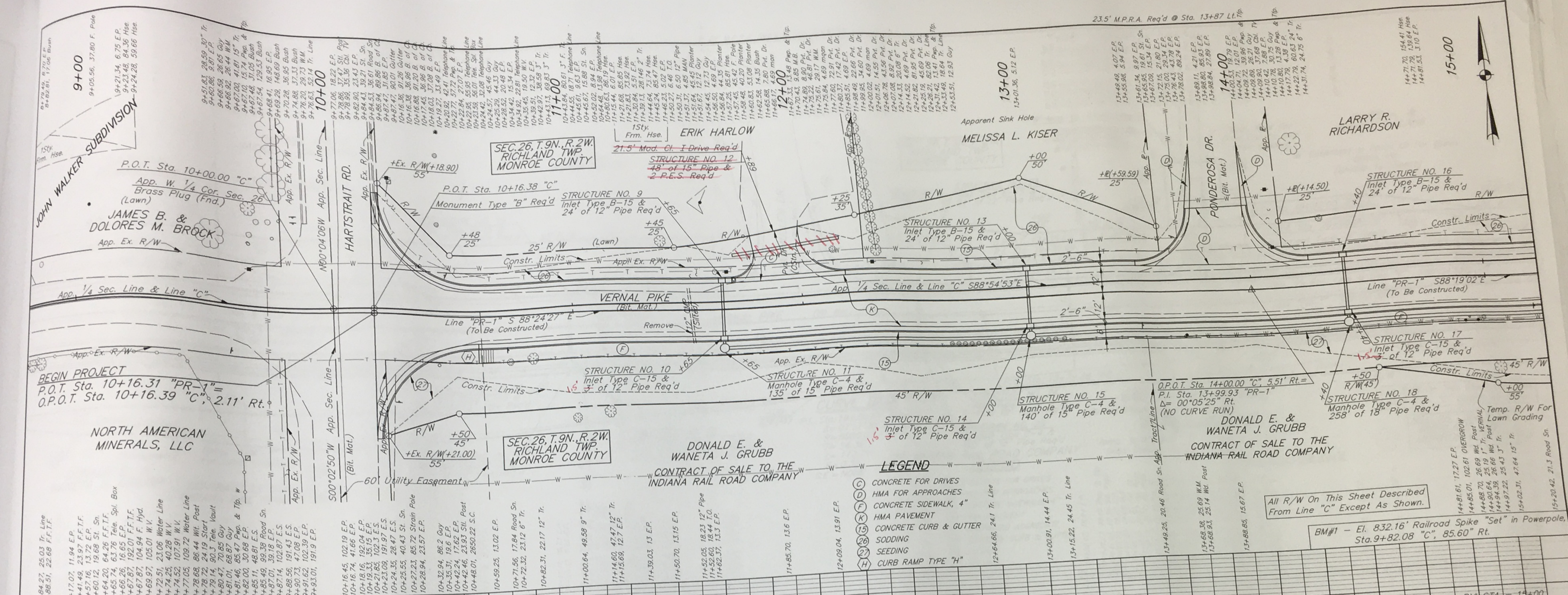
CHECKED: DKH

CHECKED: DKH

MONROE COUNTY
VERNAL PIKE

PLAT 1

HORIZONTAL SCALE	FILE
1" = 100'	2209
VERTICAL SCALE	DESIGNATION
N/A	9683081
SURVEY BOOK	SHEET
310	9 of 183
CONTRACT	PROJECT
R-28716	STP-8453(2)



EARTHWORK

COMMON EXCAVATION 13,503 Cys.
FILL +25% 14,323 Cys.
BORROW 820 Cys.

The Above Quantity Includes 1,226 Cys. of Cut And 1,532.5 Cys. of Fill +25% For Benching And 599.5 Cys. of Cut and 55.8 Cys. of Fill +25% For Drives.

LEGEND

- (C) CONCRETE FOR DRIVES
- (D) HMA FOR APPROACHES
- (F) CONCRETE SIDEWALK, 4"
- (K) HMA PAVEMENT
- (X) CONCRETE CURB & GUTTER
- (S) SODDING
- (T) SEEDING
- (H) CURB RAMP TYPE "H"

INDIANA DEPARTMENT OF TRANSPORTATION

VERNAL PIKE MONROE COUNTY

RECOMMENDED FOR APPROVAL: *[Signature]* DATE: 6-6-06
DESIGNED: AL DRAWN: JM
CHECKED: BZ CHECKED: AL

Butler Fairman Seufert CIVIL ENGINEERS

8450 WESTFIELD BLVD., SUITE 300 509 WEST BATH DRIVE, SUITE G
INDIANAPOLIS, IN 46240 MERRILLVILLE, IN 46410
317 713-4615 219 769-2333
FAX 317 713-4616 FAX 219 769-2377

INDIANA M. LANGILLE

REGISTERED PROFESSIONAL ENGINEER
No. PE10300065
STATE OF INDIANA

HORIZONTAL SCALE
1"=20'

VERTICAL SCALE
1"=10'

SURVEY BOOK
310

CONTRACT
R-28716

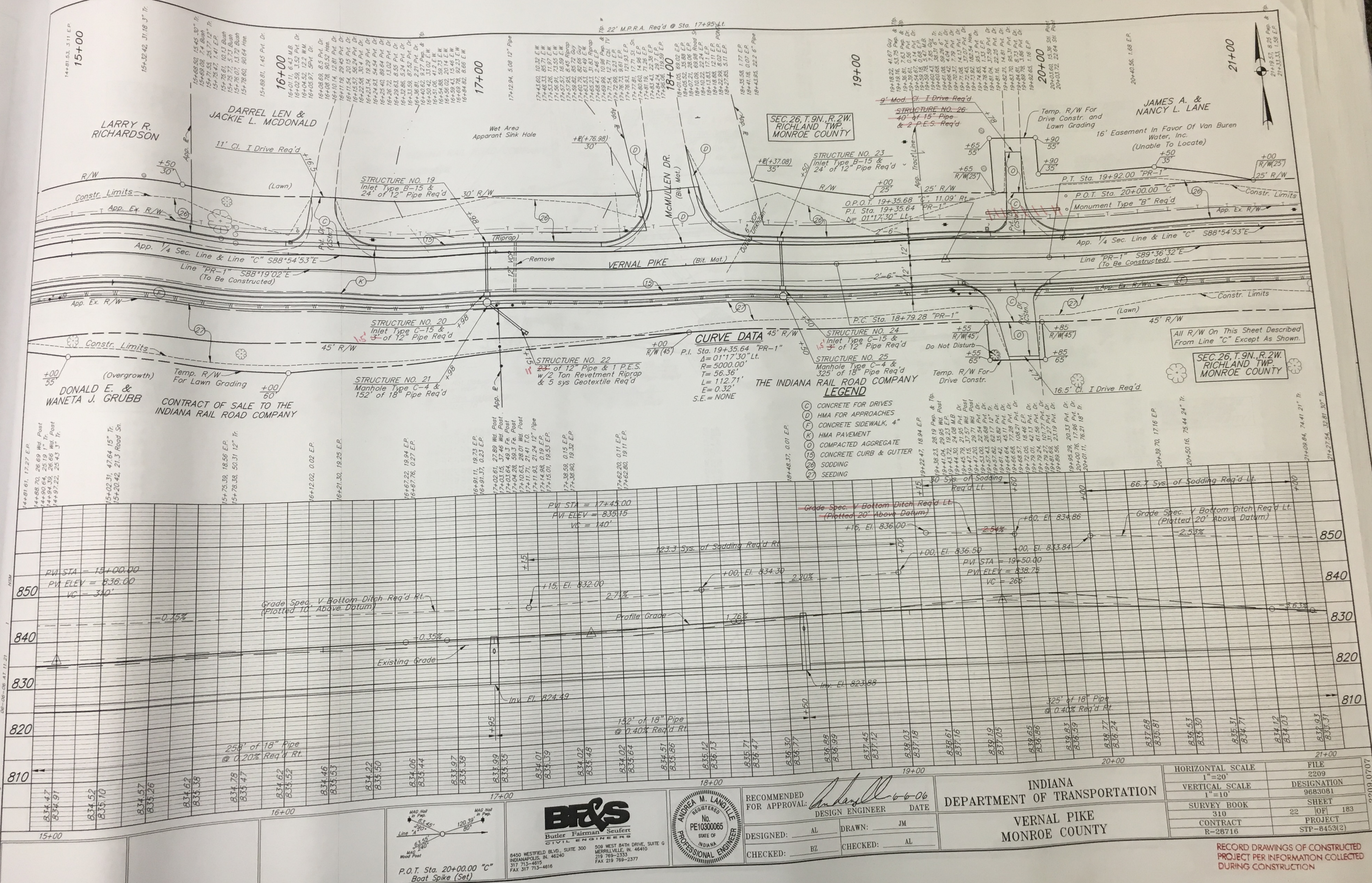
FILE
2209

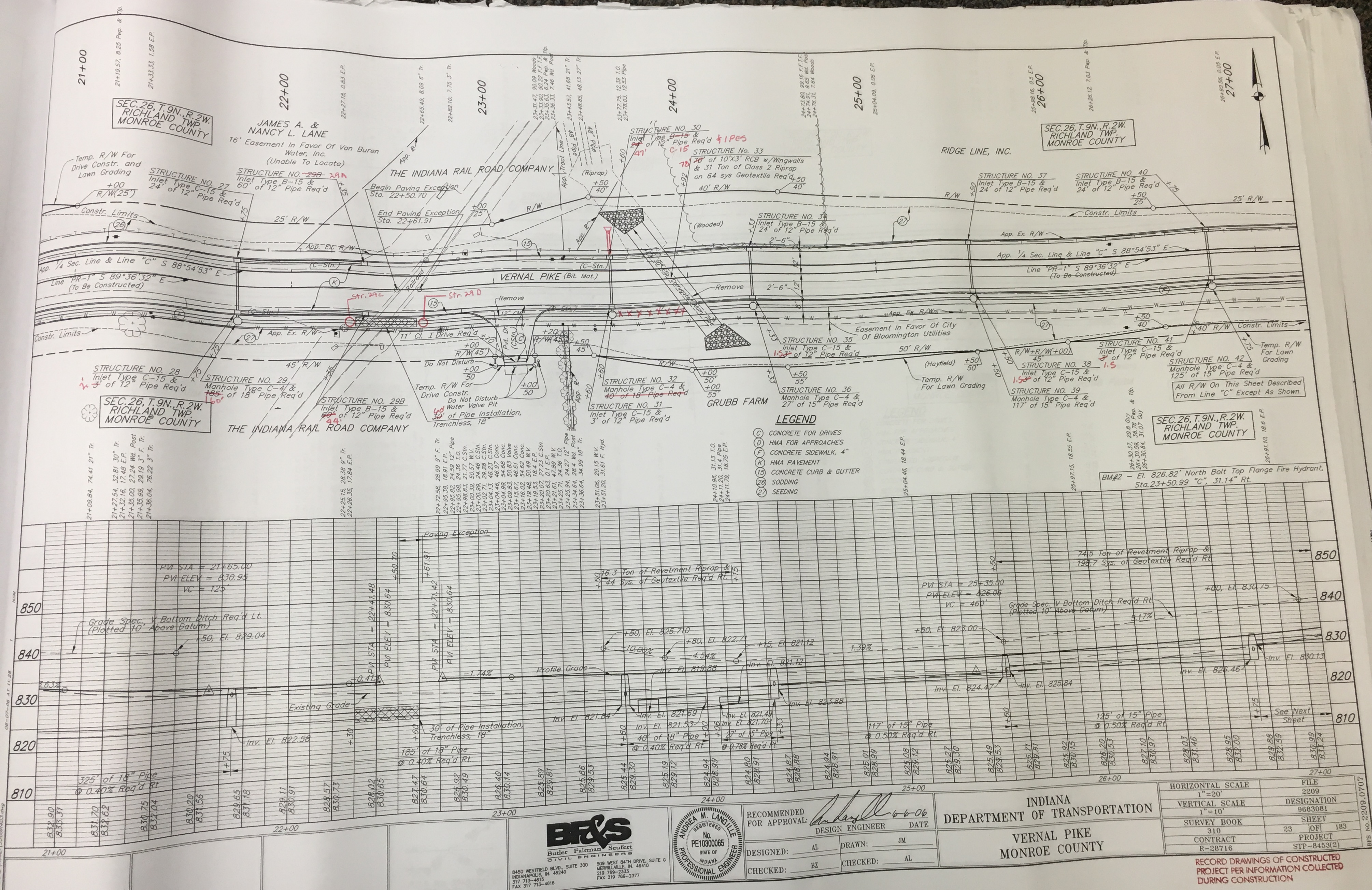
DESIGNATION
9683081

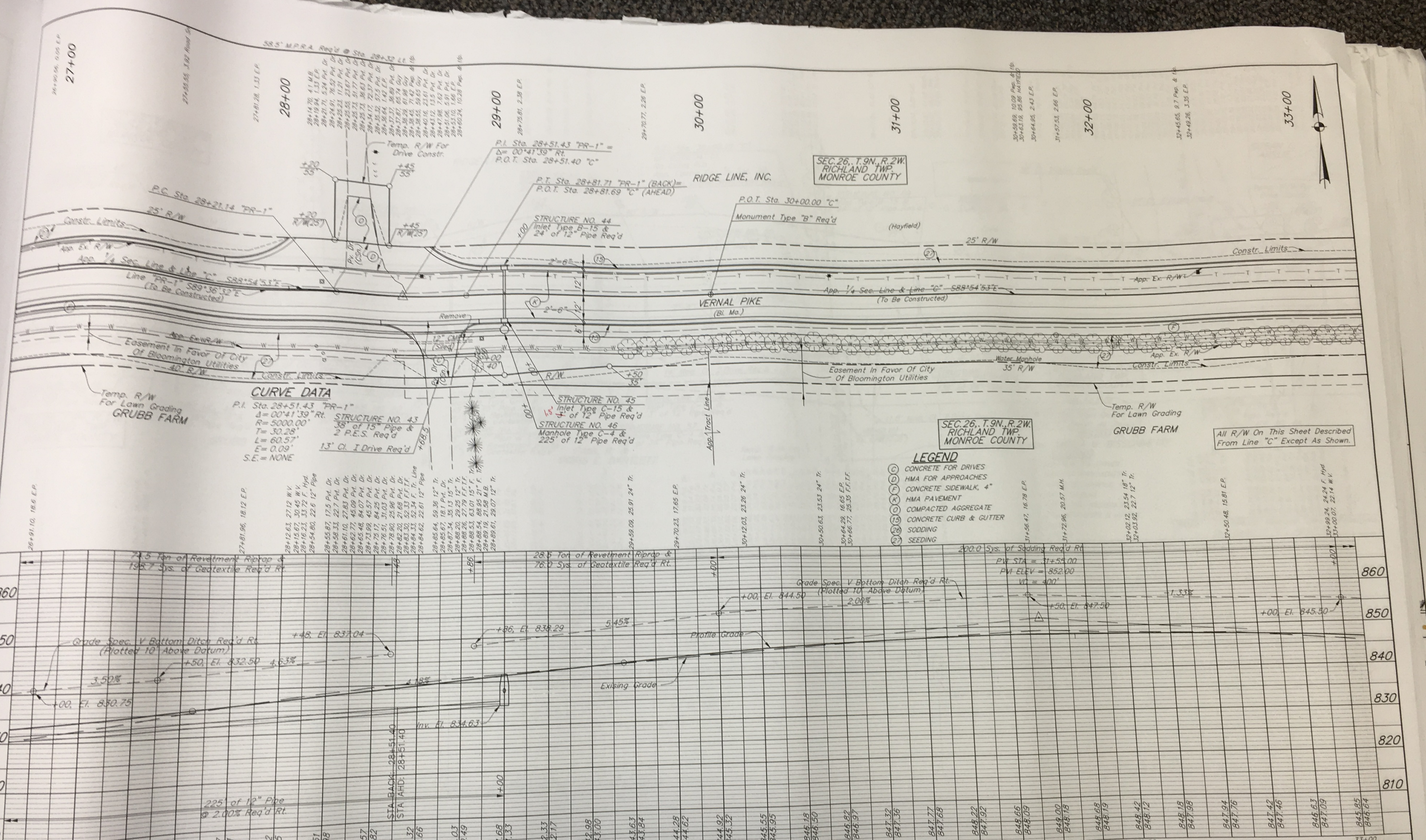
SHEET
21 OF 18

PROJECT
STP-8453(2)

RECORD DRAWINGS OF CONSTRUCTED PROJECT PER INFORMATION COLLECTED DURING CONSTRUCTION

RECORD DRAWINGS OF CONSTRUCTED
PROJECT PER INFORMATION COLLECTED
DURING CONSTRUCTION





27+00

28+00

29+00

30+00

31+00

32+00

33+00

860

850

840

830

820

810

830.99

833.23

832.31

833.93

833.62

834.68

834.94

835.48

836.27

836.31

837.42

837.15

838.51

837.98

839.57

838.82

840.32

839.66

841.03

840.49

841.68

841.33

842.33

842.17

842.98

843.00

843.63

843.84

844.28

844.62

844.92

845.32

845.55

845.95

846.18

846.50

846.82

846.97

847.32

847.36

847.77

847.68

848.22

847.92

848.66

848.09

849.00

848.18

848.68

848.19

848.42

848.12

848.18

847.98

847.94

847.76

847.42

847.46

846.63

847.09

845.85

846.64

Line 'A'

P.O.T. Sta. 30+00.00 "C"

Boat Spike (Set)

BE&S
Butler Fairman Seufert
CIVIL ENGINEERS
8450 WESTFIELD BLVD., SUITE 300
INDIANAPOLIS, IN 46240
317 713-4615
FAX 317 713-4616

509 WEST 84TH DRIVE, SUITE G
MERRILLVILLE, IN 46410
219 769-2333
FAX 219 769-2377

ANDREA M. LANGILLE
REGISTERED
No. PE10300065
STATE OF INDIANA
PROFESSIONAL ENGINEER

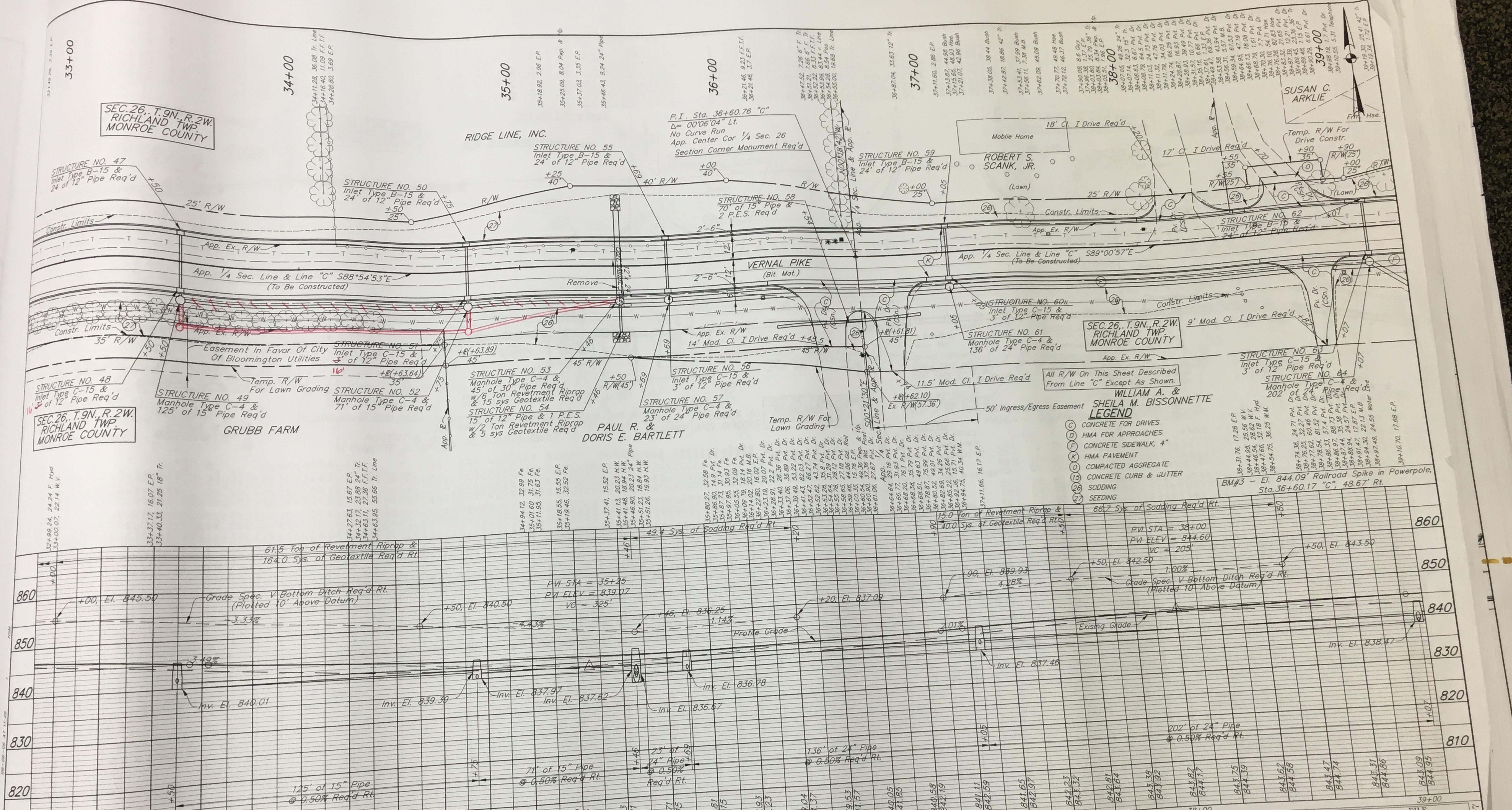
RECOMMENDED FOR APPROVAL: *[Signature]* 6-6-06
DESIGN ENGINEER DATE
DESIGNED: AL DRAWN: JM
CHECKED: BZ CHECKED: AL

INDIANA
DEPARTMENT OF TRANSPORTATION
VERNAL PIKE
MONROE COUNTY

HORIZONTAL SCALE	1"=20'
VERTICAL SCALE	1"=10'
SURVEY BOOK	310
CONTRACT	R-28716

FILE	2209
DESIGNATION	9683081
SHEET	24
PROJECT	STP-8453(2)

RECORD DRAWINGS OF CONSTRUCTED PROJECT PER INFORMATION COLLECTED DURING CONSTRUCTION



33+00

34+00

35+00

36+00

37+00

38+00

39+00

845.85

845.84

845.13

845.12

844.41

844.51

843.55

844.84

842.71

844.16

841.88

843.56

841.06

843.02

840.48

842.55

840.09

842.15

839.66

841.81

839.22

841.55

838.80

841.35

838.63

841.21

838.71

841.15

838.81

841.15

838.93

841.23

839.04

841.37

839.53

841.57

840.05

841.85

840.58

842.19

841.11

842.59

841.65

842.97

842.23

843.32

842.81

843.64

843.38

843.92

843.82

844.17

843.75

844.39

843.62

844.58

843.47

844.74

843.31

843.66

843.09

844.95

33+00

34+00

35+00

36+00

37+00

38+00

39+00

BR&S
Butler Fairman Seufert
CIVIL ENGINEERS
8450 WESTFIELD BLVD., SUITE 300
INDIANAPOLIS, IN 46240
317 713-4615
FAX 317 713-4616

REGISTERED
No. PE10300065
STATE OF INDIANA
PROFESSIONAL ENGINEER

RECOMMENDED
FOR APPROVAL: *[Signature]* 6-6-06
DESIGN ENGINEER DATE
DESIGNED: AL DRAWN: JM
CHECKED: BZ CHECKED: AL

INDIANA
DEPARTMENT OF TRANSPORTATION
VERNAL PIKE
MONROE COUNTY

HORIZONTAL SCALE
1"=20'
VERTICAL SCALE
1"=10'
SURVEY BOOK
310
CONTRACT
R-28716

FILE
2209
DESIGNATION
9683081
SHEET
25 OF 183
PROJECT
STP-8453(2)

RECORD DRAWINGS OF CONSTRUCTED
PROJECT PER INFORMATION COLLECTED
DURING CONSTRUCTION

110+00

SEC. 25, T. 9N., R. 2W.
RICHLAND TWP.
MONROE COUNTY

PEGGY J. RAGLE, et al.

P.O.T. Sta. 110+46.98 "C" (AHEAD)=
P.I. Sta. 110+46.98 "PR-3" (BACK)
Δ = 00°30'00" Rt.
NO CURVE RUN

CURRY PIKE

PEGGY J. RAGLE, et al.

RR Spike (Fnd.)
S 1/4 Cor. Sec. 25

App. Sec. Line S89°55'35"E

P.O.T. Sta. 111+67.943 "C"

All R/W On This Sheet Described
From Line "C" Except As Shown.

LEGEND

- (F) CONCRETE SIDEWALK, 4"
- (26) SODDING
- (H) CURB RAMP TYPE "H"
- (4) 100'-0" W-BEAM GUARDRAIL, 6'-3" SPACING
- (5) 25'-0" W-BEAM GUARDRAIL, 6'-3" SPACING
- (7) GUARDRAIL END TREATMENT, TYPE OS

INCIDENTAL CONSTRUCTION

Guardrail Req'd Lt.

Existing Grade

Inv. El. 871.24

Guardrail Req'd Rt.

168' of 12" Pipe @ 0.11% Req'd Rt.

112+00

BF&S
Butler Fairman Seufert
CIVIL ENGINEERS

6450 WESTFIELD BLVD., SUITE 300
INDIANAPOLIS, IN 46240
317 713-4615
FAX 317 713-4616

REGISTERED
No. PE10300065
STATE OF INDIANA
ANDREA M. LANGILLE
PROFESSIONAL ENGINEER

RECOMMENDED
FOR APPROVAL:

Handwritten Signature
DESIGN ENGINEER DATE

DESIGNED: AL

DRAWN: JM

CHECKED: BZ

CHECKED: AL

INDIANA
DEPARTMENT OF TRANSPORTATION

VERNAL PIKE
MONROE COUNTY

HORIZONTAL SCALE 1"=20'	FILE 2209
VERTICAL SCALE 1"=10'	DESIGNATION 9683081
SURVEY BOOK 310	SHEET OF 183
CONTRACT R-28716	PROJECT STP-8453(2)

RECORD DRAWINGS OF CONSTRUCTED
PROJECT PER INFORMATION COLLECTED
DURING CONSTRUCTION